

LR FORM 3: DESCRIPTION OF PROPOSAL

1. Introduction

The New York City Department of Housing Preservation and Development (“HPD”) proposes disposition of City-owned land to facilitate the development of four new construction affordable rental developments including two with ground-floor community facility space (“Proposed Development”) located in the East Harlem neighborhood of Manhattan, Community District 11. The Proposed Development will be developed on six lots (collectively “Project Area”). The Project Area consists of four development sites defined as:

- Development Site A – 303 East 102nd Street (Block 1674, Lot 104)
- Development Site B – 338 East 117th Street (Block 1688, Lot 34)
- Development Site C – 505-507 East 118th Street (Block 1815, Lots 5 & 6)
- Development Site D – 1761-1763 Park Avenue (Block 1771, Lots 1 & 2)

2. Background

East Harlem was among the first neighborhoods identified for zoning changes as part of Mayor de Blasio’s Housing New York plan. In response, then Council Speaker Mark-Viverito convened a steering committee, which prepared the East Harlem Neighborhood Plan (“EHNP”). Objectives and recommendations contained in the EHNP include the following: preservation of important East Harlem buildings and the reinforcement of neighborhood character; increased density in select places to increase affordable housing and space for jobs; and improvement and creation of services and amenities for the East Harlem community through any new development on private and public sites.

On October 18, 2016, the Department of City Planning released its East Harlem Neighborhood Study, a draft zoning framework for the East Harlem neighborhood proposing various actions, including zoning map and text amendments to key corridors within the East Harlem Neighborhood. The Study contemplated the rezoning of East Harlem between roughly East 104th Street and East 132nd Street and Second Avenue and Park Avenue. Subsequently, in 2017, the City Planning Commission (“CPC”) and the City Council approved several land use actions, including a rezoning (L.U. No 773; C170358ZMM) to establish the East Harlem Corridor Special District and to designate a Mandatory Inclusionary Housing (“MIH”) area (L.U. No 774; N170359ZRM), and an amendment to the bulk and use regulations and the expiration date of the Milbank Frawley Circle-East Urban Renewal Plan (L.U. No. 775; C170360HUM). Among the proposed development sites, Development Site D is the only site that falls within the East Harlem Corridor Special District and the designated MIH area.

Development Site D is also located within the boundaries of the Upper Park Avenue Urban Renewal Area. Development Site D was designated as Site 10, which was restricted to industrial use. The Upper Park Avenue Urban Renewal Plan was adopted in 1993 (C920660HUM) and was amended once (C060502HUM) to change land use designations and to remove the 100’ setback requirement from Park Avenue for residential buildings. As part of the amendment, Site 10’s land use designation was changed from industrial to residential. The Upper Park Avenue Urban Renewal Plan expired in 2008.

Several of the development sites were subject to previous disposition actions. On June 3, 1981 the CPC approved the disposition of several City-owned properties, including part of Development Site C (Block 1815/Lot 6) (C810092PPM, Cal. No. 65). On April 21, 1982 the CPC approved the disposition of 91 City-owned properties, including Development Site A (C820574PPM, Cal. No. 80). On September 13, 1994 the CPC approved an application for site selection and acquisition of multiple privately-owned properties by the City, including Development Site B, which were

expected to be operated as a school by the New York City Board of Education (“BOE”) (C940219PCM, Cal. No. 27).

Development Sites A, B, and C were also part of a larger rezoning action approved by the CPC on May 7, 2003 (C030234(A)ZMM, Cal. No. 21). The Zoning Map amendment eliminated C1-4 and C2-4 districts from an existing R7-2 district, changed the subject rezoning area from R7-2, C4-4, M1-4, and M3-2 districts to R7A, R7B, R7X, R8A, C4-4D, and M1-4 districts, and established C1-5 and C2-5 districts within the proposed R7A, R7X, and R8A districts. Under the rezoning Development Site A was changed from an R7-2 to an R8A district and Development Sites B and C were changed from R7-2 to R7B districts.

3. Description of the Surrounding Area

The Project Area is located in the East Harlem neighborhood in Community District 11 in Manhattan. The neighborhood contains a mix of residential, commercial, and community facility uses, with pockets of industrial uses and parking. The Project Area consists of four development sites.

Development Site A:

Development Site A is located on the north side of East 102nd Street, a narrow street, between First Avenue and Second Avenue. The surrounding area is characterized by mid-rise mixed-use buildings consisting of mostly five- to 10-story multifamily buildings with ground-floor commercial and institutional uses. The surrounding area also consists of several high-rise multifamily elevator buildings along First Avenue, Second Avenue, and East 106th Street. High-rise buildings in the nearby area include the George Washington Houses, a NYCHA campus with 13-story buildings between East 97th and 104th Streets and First and Second Avenues, as well as the Franklin Plaza Apartments, a 20-story building located on East 106th Street between Second and Third Avenues.

The surrounding area is predominately zoned with R7A, R7-2, and R8A districts, with C1-5 and C2-5 commercial overlays along First and Second Avenues. R7 districts allow for a range of mid-density residential buildings. The height factor regulations for R7-2 districts encourage lower apartment buildings on smaller zoning lots and taller buildings with less lot coverage on larger lots. R7A and R8A districts are contextual districts where the Quality Housing regulations are mandatory. Quality Housing regulations typically produce high lot coverage, seven- to nine-story apartment buildings in R7A districts, and 12- to 14-story apartment buildings in R8A districts. Higher maximum Floor Area Ratios (“FAR”) and heights are available for buildings participating in the Inclusionary Housing Program in R7A and R8A districts.

There are a number of religious and institutional facilities in the surrounding area. The House of Prayer Pentecostal Church is located one block north of Development Site A, while the Church of the Resurrection and East Harlem Church and Community Center are located one block to the south, and the East Ward Missionary Baptist Church two blocks northeast of Development Site A. Nearby schools include P.S. 38 Roberto Clemente School and Harlem Prep Middle School located one block west, and the East Harlem School one block north of Development Site A.

Development Site A is well-served by public transit and roadways. Development Site A is a six-minute walk from the 103rd Street Station, served by the 4, 5, and 6 subway lines, and a seven-minute walk from the 96th Street Station, served by the Q subway line. In addition, the M15 and M15SBS buses run north-south along First and Second Avenues within the surrounding area.

Development Site B:

Development Site B is located on the south side of East 117th Street, a narrow street, between First Avenue and Second Avenue. The surrounding area is characterized by mid- to high-rise mixed-use buildings consisting of mostly five- to 10-story multifamily buildings with ground-

floor commercial uses along the avenues, and some taller multifamily elevator buildings along the side streets. There are also pockets of vacant, industrial, and transit uses within close proximity to Development Site B.

The surrounding area is predominately mapped with R7B, R7X and R9A zoning districts with C1-5 and C2-5 commercial overlays along First and Second Avenues. Contextual R7B, R7X, and R9A districts are governed by Quality Housing bulk regulations, with R7B districts allowing for a range of mid-density residential buildings and R7X and R9A districts allowing for taller 12- to 15-story buildings. Higher maximum FARs and heights are available for buildings participating in the Inclusionary Housing Program in R7X and R9A districts.

There are several institutional facilities in the surrounding area, including the Greater Emmanuel Baptist Church two blocks to the north, Iglesia Pentecostal Las Santa Ciudad Church one block to the northeast, and The Bowery Mission one block to the south of Development Site B. In addition, P.S. 155 William Paca School is located one block to the north of Development Site B.

Development Site B is well-served by public transit and roadways. Development Site B is located an eight-minute walk from the 116th Street Station, which is served by the 4, 5, and 6 subway trains. The M15 and M15SBS buses run north-south on First and Second Avenues. The M116 runs east-west along East 116th Street and north-south along First Avenue.

Development Site C:

Development Site C is located on the north side of East 118th Street, a narrow street, between Franklin D. Roosevelt Drive and Pleasant Avenue. The surrounding area is characterized by mid-rise mixed-use buildings consisting of mostly three- to 10-story multifamily walk-up and elevator buildings. Along the avenues, the building typology consists of mixed-use buildings with ground-floor commercial spaces and residential uses on the upper floors. There are also some single- and two-family residential buildings, industrial and manufacturing uses, and vacant properties scattered throughout the surrounding area. A major commercial area, the East River Plaza, is located along Franklin D. Roosevelt Boulevard between 117th and 119th Streets, east of Development Site C.

The surrounding area is predominately mapped as R7A, R7-2, and R8A districts with C1-5 and C2-5 commercial overlays along First and Second Avenues. Descriptions of these districts are provided above.

There are a number of public facilities in the surrounding area including the Holy Rosary Church located one block to the west, Mt. Carmel-Holy Rosary School two blocks to the northwest, P.S. 112 Manhattan one block to the north, and P.S. 206 two blocks to the north of Development Site C. In addition, the New York City Department of Parks and Recreation (“Parks”) portion of the Pleasant Village Community Garden is located directly adjacent to Development Site C and the Los Amigos Community Garden is located one block to the south.

Development Site C is well-served by public transit and roadways. The M15 and M15SBS runs north to south along First Avenue and the M116 runs along First Avenue, Paladino Avenue, Pleasant Avenue, and East 116th Street.

Development Site D:

Development Site D is located at the intersection of Park Avenue and East 122nd Street, on the northeast corner. The surrounding area is characterized by low- and mid-rise buildings consisting of mostly four- to 10-story multifamily walk-up and elevator buildings, as well as numerous commercial buildings. There are several nearby high-rise multifamily elevator buildings, including Lexington Heights, a 32-story NYCHA development located on the corner of East 120th Street and Lexington Avenue. There are also several transit facilities in close proximity to

Development Site D, including several surface parking lots to the north and east of the site, and the MetroNorth Park Avenue viaduct directly to the west of Development Site D.

The surrounding area is predominately mapped as R7B, R7-2, R8, R10, and M1-6 districts. There are also several commercial overlays including C2-4, C2-5, and C6-4 districts along Park Avenue and Lexington Avenue. R7 and R8 districts allow for a range of mid-density residential buildings. The height factor regulations for R7 districts encourage lower apartment buildings on smaller zoning lots and taller buildings with less lot coverage on larger lots. R8 districts also allow for taller buildings set back from the street on large zoning lots. Buildings may be constructed pursuant to Quality Housing regulations or tower regulations. Quality Housing regulations allow for buildings with a base height of 60 feet to 105 feet, and maximum building heights ranging from 115 feet to 215 feet for buildings participating in the Inclusionary Housing Program. Under tower regulations, buildings are allowed to penetrate the sky exposure plane, which results in buildings taller than those allowed under Quality Housing regulations.

The area surrounding Development Site D is also located within three special districts: the Special 125th Street district, the Special East Harlem Corridor district (“EHC”), and the Special Transit Land Use District (“TA”).

The Special 125th Street District encompasses approximately 24 blocks bounded by 124th Street, 126th Street, Broadway, and Second Avenue. The special purpose district was established to support and enhance 125th Street as Harlem’s “Main Street”—as a regional business district and arts and entertainment destination. The portion of the surrounding area within the Special 125th Street District is mapped with underlying C4-4D, C4-7, and C6-4 districts.

The C4-4D district is a medium density contextual district that allows commercial and residential uses. The C4-4D district has a residential district equivalent of R8A; the maximum FAR is 6.02 for residential, 6.5 for community facility, and 3.4 for commercial.

C4-7 and C6-4 districts are non-contextual high density general commercial districts. Both districts allow a maximum commercial FAR of 10.0 and have a residential district equivalent of R10, which has a maximum residential FAR of 10.0 and up to 12.0 with MIH.

The TA district is mapped north of East 124th Street. The purpose of the TA district is to promote future access to the underground transit system by requiring developments within the TA district to provide transit access or other subway amenities to be built through easements. In particular, the TA district relates to the development of the Second Avenue Subway.

The EHC is located generally along lots fronting on Park Avenue, Lexington Avenue, and Third Avenue between East 115th and East 124th Streets. The EHC was established to encourage the development of affordable housing, enhance the pedestrian experience, preserve neighborhood character, and facilitate new commercial and manufacturing space that will support job growth. The EHC district regulations are mainly applicable to the neighborhood’s major avenues and crosstown streets with unique height, setback, and ground floor requirements. There are also minimum requirements for non-residential uses in certain areas. The EHC is coterminous with an MIH Area.

The portion of the surrounding area within the EHC is mapped with underlying C6-4, R10, M1-6/R10, and R7D/C2-5 districts. The C6-4 district within the EHC requires a non-residential FAR of 2.0 before any residential floor area is allowed. The overall maximum floor area for a mixed-use or purely nonresidential development is 10.0 FAR. Pursuant to the special bulk provisions of the EHC, a development would have contextual Quality Housing or tower bulk options.

Numerous public facilities are located within the surrounding area including several healthcare institutions and schools. The NYC Health + Hospitals Henry J. Carter Specialty Hospital and Nursing Facility is located across the viaduct, one block to the southwest of Development Site D.

The New York College of Podiatric Medicine is located three blocks northwest of Development Site D and Northern Manhattan Rehab and Nursing Center is located two blocks to the north of Development Site D. P.S. 79 Horan School is located across the viaduct from Development Site D, two blocks to the southwest. In addition, Marcus Garvey park is located two blocks to the west and the Parks portion of the Jackie Robinson Community Garden is located directly to the east of the site.

Development Site D is well-served by public transit and roadways. Development Site D is located a four minute walk from the 125th Street station, served by the 4, 5, and 6 subway lines, and a three minute walk from the Harlem-125th Street station, served by the MetroNorth Hudson Line, New Haven Line, and Harlem Line. The M101 and M103 run north-south along Lexington and Third Avenues, and the M1 runs north-south along Madison Avenue. The M98 runs north-south along Lexington Avenue south of 120th Street, east-west along 120th Street between Lexington and Park Avenue, and north-south along Park Avenue north of 120th Street.

4. Description of the Proposed Project Area/Development Site

The Project Area consists of four development sites.

Development Site A is located at 303 East 102nd Street (Block 1674, Lot 104), between First Avenue and Second Avenue in Manhattan. It comprises approximately 1,898 square feet of total lot area. Development Site A has approximately 25 feet of frontage on East 102nd Street and extends for a depth of 75.92 feet. It is currently vacant.

Development Site B is located at 338 East 117th Street (Block 1688, Lot 34), between First Avenue and Second Avenue in Manhattan. It comprises approximately 2,523 square feet of total lot area. Development Site B has approximately 25 feet of frontage on East 117th Street and extends for a depth of 100.92 feet. It is also currently vacant.

Development Site C is located at 505-507 East 118th Street (Block 1815, Lots 5 and 6), between Pleasant Boulevard and Franklin D. Roosevelt Drive in Manhattan. It comprises approximately 4,827 square feet of total lot area. Development Site C has approximately 48 feet of frontage on East 118th Street and extends for a depth of 100.92 feet.

Development Site D is located at 1761 Park Avenue (Block 1771, Lots 1 and 2), between 122nd Street and 123rd Street. It comprises approximately 4,583 square feet of total lot area. Development Site D has approximately 51 feet of frontage on Park Avenue and extends for a depth of 90 feet.

Development Sites C and D contain interim GreenThumb gardens that operate under a temporary license agreement with HPD, which allows for garden-related activities until they are to be developed.

5. Description of Proposed Development

The Proposed Development includes four new mixed-use buildings on the development sites. The new approximately five-story, six-story, and 13-story buildings will contain approximately 81 affordable dwelling units, plus two superintendents' units, and approximately 8,150 zoning square feet ("zsf") of community facility space.

The proposed building on Development Site A would be approximately five stories and would contain approximately six affordable housing units and ground-floor community facility space. The proposed building would be approximately 6,386 zsf, with an FAR of 3.42. The building will include approximately 5,031 square feet of residential space and approximately 1,355 square feet of community facility space on the ground floor. The building will be approximately 54 feet high. The proposed building complies with all bulk requirements of Zoning Resolution Section

(“ZRS”) 23-00 for residential developments in an R8A zoning district and ZRS 35-00 for mixed buildings in a C1-5 zoning district.

The proposed building on Development Site B would be approximately five stories and would contain approximately seven affordable housing units. The proposed building would be approximately 7,378 zsf, with an FAR of 2.94. The building will be approximately 53 feet high. The proposed building complies with all bulk requirements of ZRS 23-00 for residential developments in an R7B zoning district.

The proposed building on Development Site C would be approximately six stories and would contain approximately 18 affordable housing units. The proposed building would be approximately 14,481 zsf, with an FAR of 2.99. The building will be approximately 62 feet high. The proposed building complies with all bulk requirements of ZRS 23-00 for residential developments in an R7B zoning district.

The proposed building on Development Site D would be approximately 13 stories and would contain approximately 52 affordable housing units. The proposed building would be approximately 48,187 zsf, with a total FAR of 9.91. The building will include approximately 41,392 square feet of residential space and approximately 6,795 square feet of community facility space on the ground and second floors. The building will be approximately 125 feet high. The proposed building complies with all bulk requirements of ZRS 23-00 for residential developments in an R10 zoning district, ZRS 24-00 for community facility developments in an R10 zoning district, and ZRS 43-00 for developments in an M1-6 zoning district.

The Proposed Development will include several residential amenities. Laundry rooms and bike storage areas will be provided in all four buildings. The proposed buildings at Development Site B and Development Site C will have ground-level courtyards, while the proposed building at Development Site D will have a rooftop terrace that can be accessed by residents.

As set forth in ZRS 25-251, as directed to from ZRS 36-35, for developments within the Transit Zone, no accessory off-street parking spaces are required for income-restricted housing units.

6. Actions Necessary to Facilitate the Proposal

The Project Area is proposed for disposition to a developer to be selected by HPD.

7. Conclusion

In conclusion, HPD is seeking approval for the disposition of City-owned property to facilitate the development of four new mixed-use and residential buildings containing affordable housing units and community facility space in the East Harlem community of Manhattan. The Proposed Development will create much needed affordable housing in East Harlem and contribute to the Mayor’s overall goal of creating and preserving housing for New York City.



Las Raices Project Sites



Development Site D - 1761 Park Avenue



Development Site C - 505 E118th Street



Development Site B - 338 E117th Street



Development Site A - 303 E102nd Street





ZONING MAP

THE NEW YORK CITY PLANNING COMMISSION

Major Zoning Classifications:

The number(s) and/or letter(s) that follows on R, C or M District designation indicates use, bulk and other controls as described in the text of the Zoning Resolution.

R – RESIDENTIAL DISTRICT

C – COMMERCIAL DISTRICT

M – MANUFACTURING DISTRICT

SPECIAL PURPOSE DISTRICT
The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.

AREA(S) REZONED

Effective Date(s) of Rezoning:

12-19-2019 C 190434 ZMM

Special Requirements:

For a list of lots subject to CEQR environmental requirements, see APPENDIX C.

For a list of lots subject to "D" restrictive declarations, see APPENDIX D.

For Inclusionary Housing designated areas and Mandatory Inclusionary Housing areas on this map, see APPENDIX F.

MAP KEY

5c	6a	6c
5d	6b	6d
8c	9a	9c

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ZONING
MAP
6b

NOTE: Zoning information as shown on this map is subject to change. For the most up-to-date zoning information for this map, visit the Zoning section of the Department of City Planning website: www.nyc.gov/planning or contact the Zoning Information Desk at (212) 720-3291.

C1-1 C1-2 C1-3 C1-4 C1-5 C2-1 C2-2 C2-3 C2-4 C2-5

NOTE: Where no dimensions for zoning district boundaries appear on the zoning maps, such dimensions are determined in Article VII, Chapter 6 (Location of District Boundaries) of the Zoning Resolution.

Development Site A

303 E102 Street Area Map



Project

- Project Area
- Development Site
- Rezoning Area
- 600 Foot Radius

Zoning

- Zoning District
 - C1-1
 - C1-2
 - C1-3
 - C1-4
 - C1-5
 - C2-1
 - C2-2
 - C2-3
 - C2-4
 - C2-5
 - Special Purpose District
- ### Land Use
- 1-2 Family Residential
 - Multifamily Walkup
 - Multifamily Elevator
 - Mixed Commercial/Residential
 - Commercial & Office
 - Industrial & Mfg
 - Transportation & Utility
 - Public Facilities & Institutions
 - Open Space & Outdoor Recreation
 - Parking
 - Vacant/No Data
 - Other

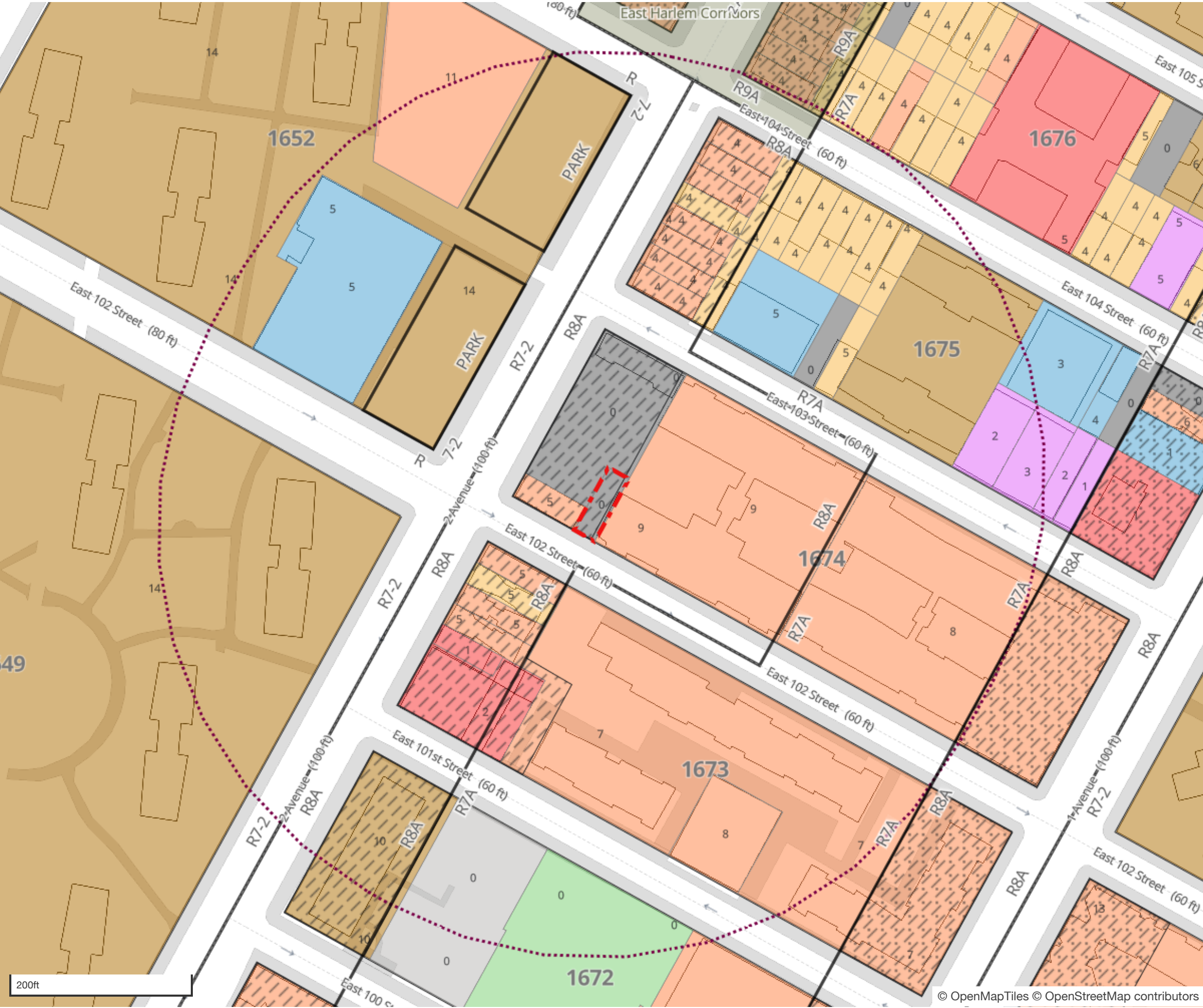
Transportation

- Subway Stop
- Subway Entrance

Map Created: Apr 30, 2020, 12:56am
Data Sources: layers-api.planninglabs.nyc/v1/sources
pluto MapPLUTO™ 20v3, Bytes of the Big Apple (April 2020); zoning-districts (March 2020); digital-citymap (6 April 2018); planimetrics (26 February 2019); transportation (21 November 2017); supporting-zoning (Dec 2019)



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<https://applicantmaps.planning.nyc.gov/projects/3112HJK3%2FVDuNJHXAUFU2/edit/map/edit>



NYC Digital Tax Map

Effective Date : 11-06-2009 09:44:00
End Date : Current
Manhattan Block: 1674

Development Site A
303 East 102nd Street

- Legend
- Streets
 - Miscellaneous Text
 - Possession Hooks
 - Boundary Lines
 - Lot Face Possession Hooks
 - Regular
 - Underwater
 - Tax Lot Polygon
 - Condo Number
 - Tax Block Polygon
 - Development Site
 - Development area
 - Zoning boundary





1. Looking north from midblock of 102nd St.
toward Development Site.

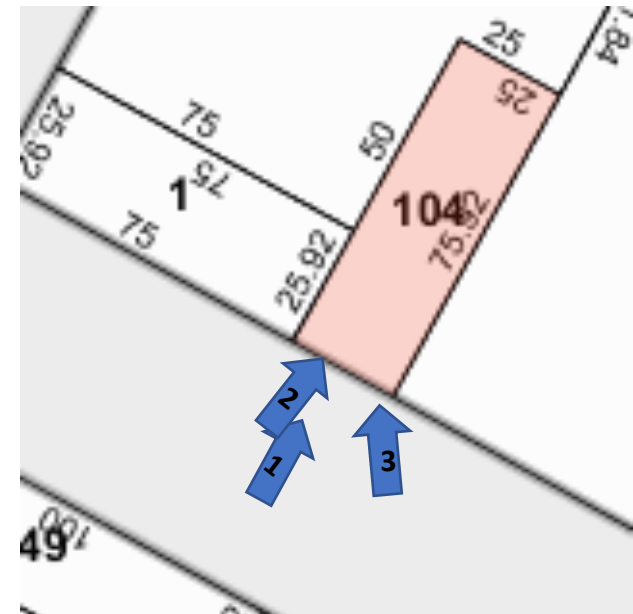


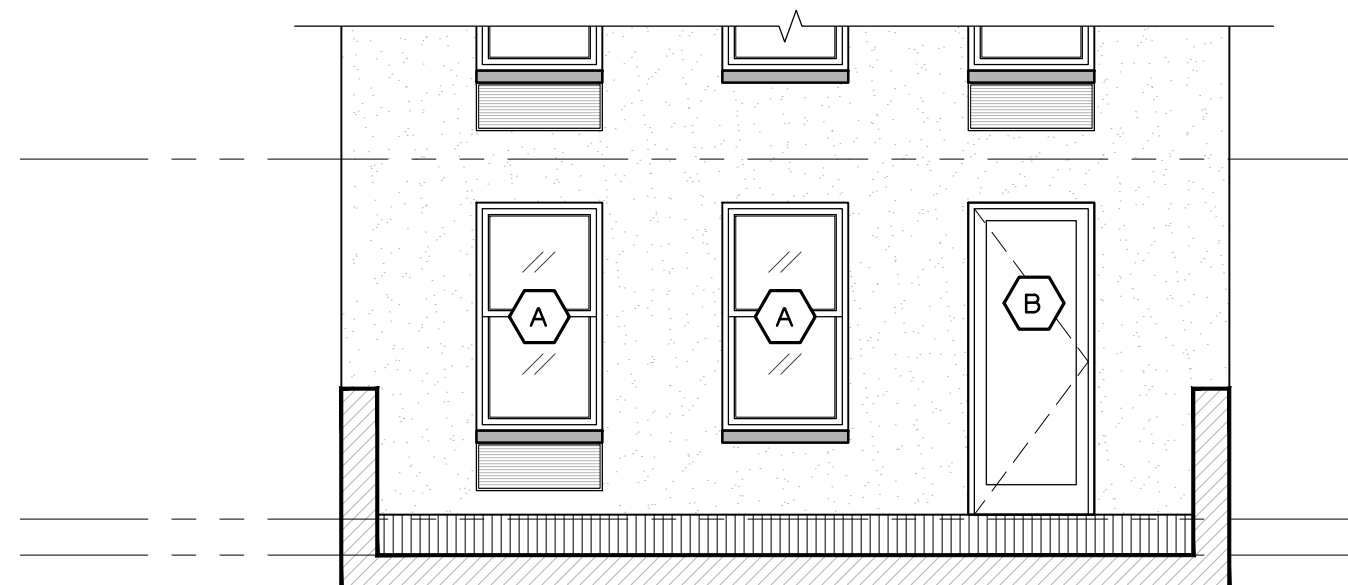
2. Looking north from sidewalk E. 122nd St.
toward Development Site.

Development Site A 303 E. 102nd St.



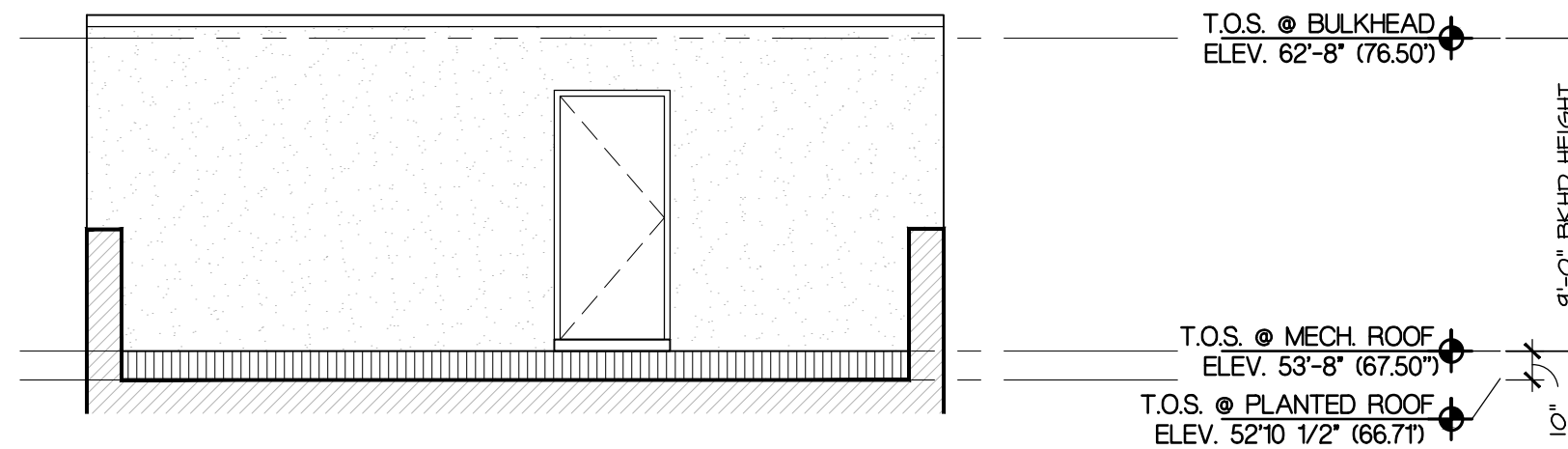
3. Looking northwest from sidewalk of E. 102nd
St. toward Development Site.





D BUILDING ELEVATION (PART)
NORTH WEST

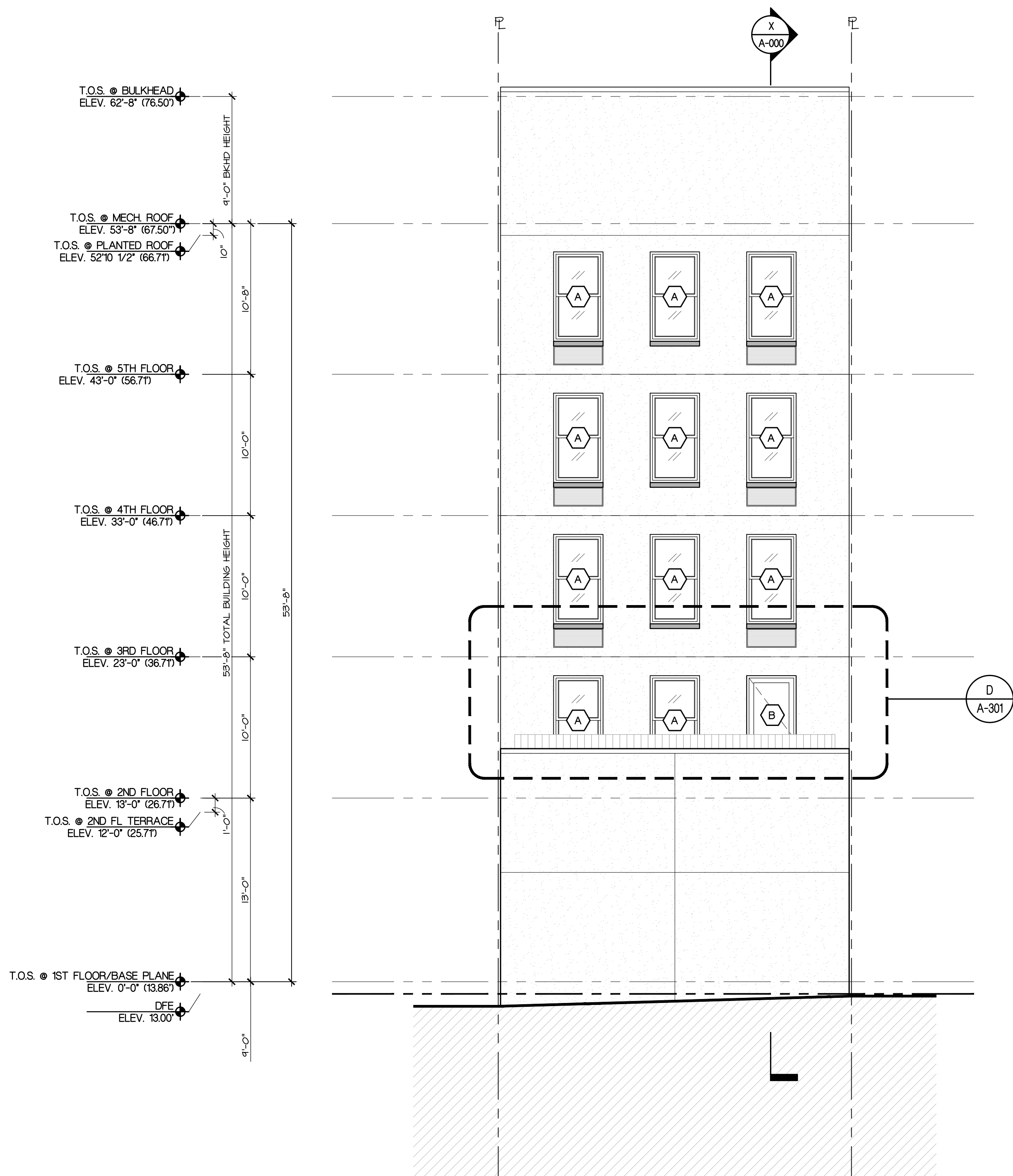
3/16" = 1'-0"



C BUILDING ELEVATION (PART)
SOUTH-EAST

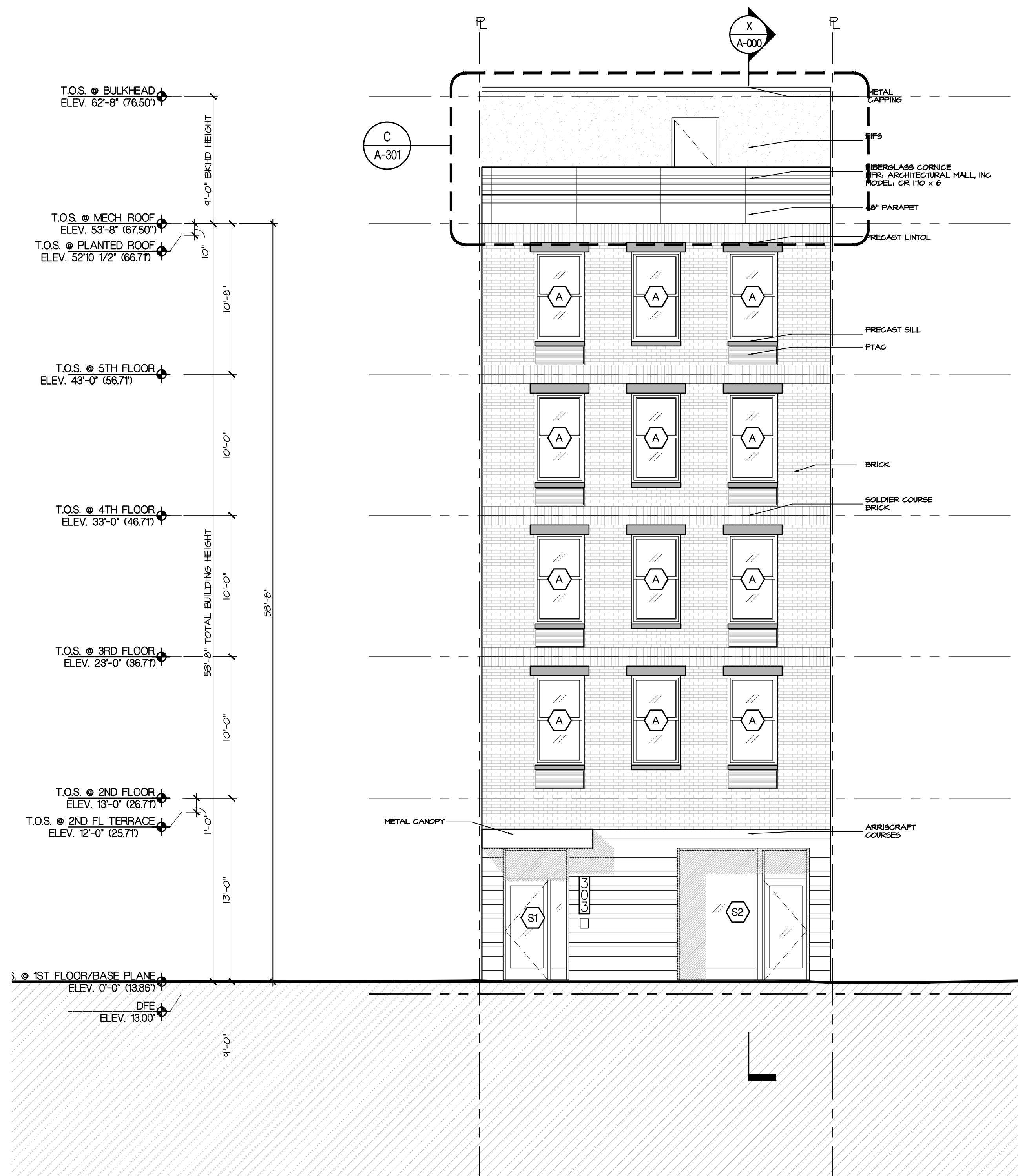
3/16" = 1'-0"

BUILDING MATERIAL LEGEND	
	BRICK VENEER
	EIFS - COLOR BY OWNER
	STONE WINDOW HEAD/SILL



B BUILDING ELEVATION
NORTH WEST

3/16" = 1'-0"



A BUILDING ELEVATION
SOUTH-EAST

3/16" = 1'-0"

GF55

225 WEST 39TH STREET
NEW YORK, NY 10018
212 352 3099
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Las Raices
303 E 102nd St New York, NY 10029
BLOCK: 1674 LOT: 104
PROJECT # 1816.00

OWNER
MDG NY
DESIGN ARCHITECT
GF55 Partners, LLP
MECHANICAL ENGINEER
Dagher Engineering
STRUCTURAL ENGINEER
De Nardis Engineering, LLC
ISSUE

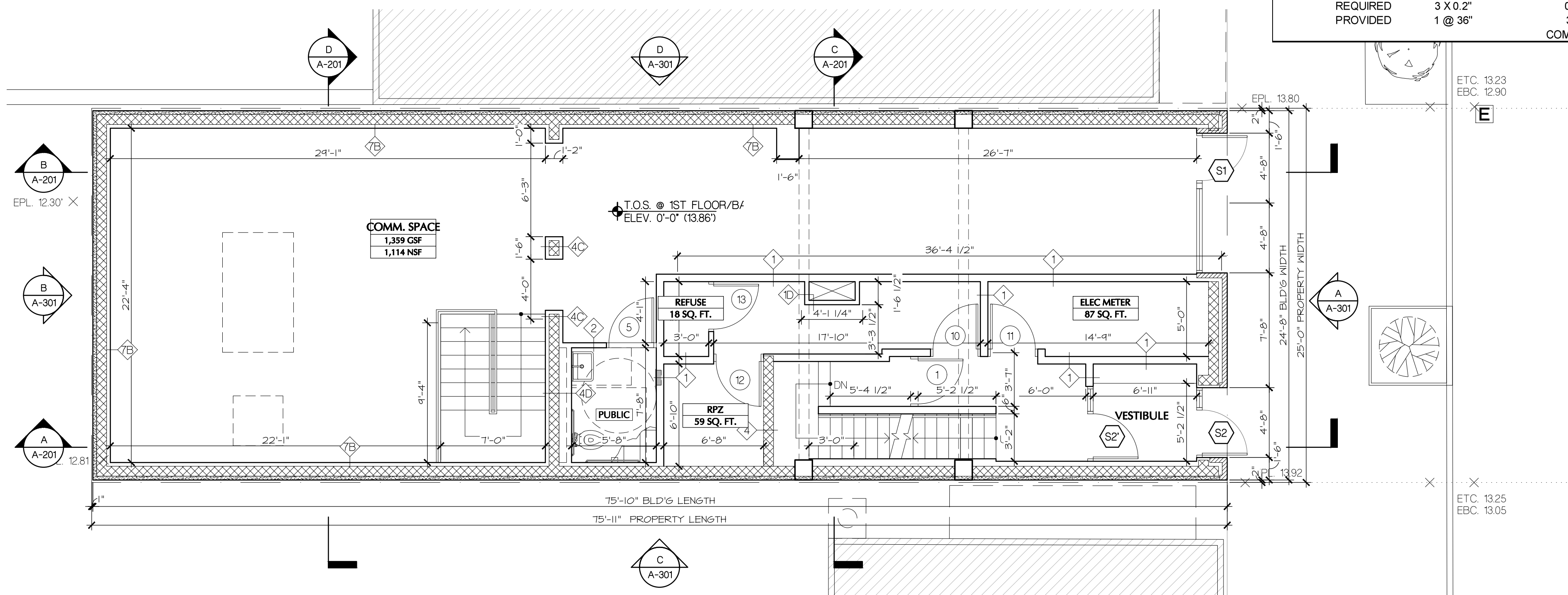
CONSTRUCTABILITY SET	2/13/2020

KEY PLAN	
303 E 102ND ST BLOCK: 1674 LOT: 104	102ND ST

SCALE

DRAWING
BUILDING ELEVATIONS

SEAL AND SIGNATURE	DATE: 9/24/2020
	PROJECT NO: 1816.00
	DRAWING BY:
	CHK BY:
	DWG NO:
	A-301.00
	SHEET NO: 3



1st FLOOR			
OCCUPANTS & LOAD REQUIREMENTS			
AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
ELEC. ROOM	87.0	300	1
REFUSE	18.0	300	1
RPZ	59.0	300	1
TOTAL			3

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
0.2" / OCCUPANT			
DOORS	REQUIRED	3 X 0.2"	0.6"
	PROVIDED	1 @ 36"	36"
			COMPLIES

OCCUPANTS & LOAD REQUIREMENTS			
AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
COMMERCIAL	1359.0	30	45
TOTAL			45

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
0.2" / OCCUPANT			
DOORS	REQUIRED	45 X 0.2"	9.1"
	PROVIDED	1 @ 36"	36"
			COMPLIES

B FIRST FLOOR PLAN COMMERCIAL SPACE & MECH. SPACES

3/16" = 1'-0"

CELLAR			
OCCUPANTS & LOAD REQUIREMENTS			
AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
WATER METER ROOM	321.0	300	1
TELECOM	5.0	300	1
LAUNDRY	121.0	200	1
TOTAL			3

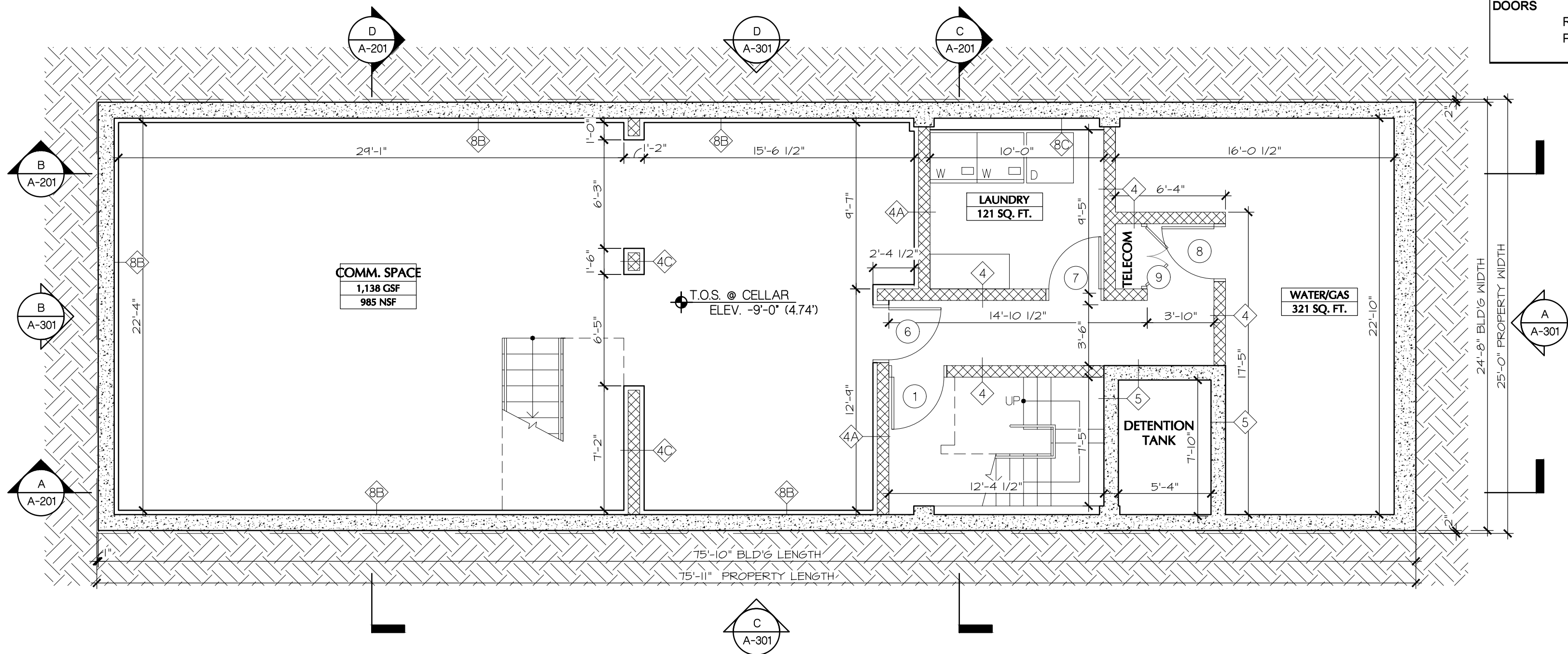
EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
0.3" / OCCUPANT			
STAIRS	REQUIRED	3 X 0.2"	0.9"
	PROVIDED	1 @ 36"	36"
			COMPLIES

DOORS			
0.2" / OCCUPANT			
	REQUIRED	3 X 0.2"	0.0"
	PROVIDED	1 @ 36"	36"
			COMPLIES

OCCUPANTS & LOAD REQUIREMENTS			
AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
COMMERCIAL	1138.0	30	38
TOTAL			38

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
0.3" / OCCUPANT			
STAIRS	REQUIRED	38 X 0.3"	11.4"
	PROVIDED	2 @ 36"	72"
			COMPLIES

DOORS			
0.2" / OCCUPANT			
	REQUIRED	38 X 0.2"	0.0"
	PROVIDED	1 @ 36"	36"
			COMPLIES



PL FIXTURE TABLE			
NYC PLUMBING CODE TABLE 403.1			
OCCUPANCY	BUSINESS (B)		
OCCUPANT LOAD	=		
	REQUIRED	PROVIDED	COMPLIANCE
WATER CLOSET			
LAVATORY			
DRINKING FOUNTAIN			
SERVICE SINK			

CONSTRUCTION NOTES	
1. ALL DIMENSIONS FINISH TO FINISH	
2. REFER TO STAIR DETAIL DRAWINGS FOR STAIR DIMENSIONS AND DETAILS	
3. BUILDING TO BE IN FULL COMPLIANCE WITH NYS ENERGY CODE / ASHRAE	
4. FOR KITCHEN AND BATHROOM DETAILS AND DIMENSIONS SEE DETAIL DRAWINGS	
5. FIRESTOP AND FIRESEAL ALL PENETRATIONS THROUGH RATED WALLS AND RATED FLOORS/SLABS	
6. ALL CORRIDOR WALLS TO BE MIN. 2HR RATED	
7. GAS RISERS IN DEMISING WALLS TO BE SEPARATED BY A 2 HR RATED INDEPENDENT ENCLOSURE. GAS RISERS MAY NOT BE LOCATED IN CONCEALED SPACES WITHIN RATED WALLS BETWEEN APARTMENTS AND APARTMENTS, AND APARTMENTS AND CORRIDORS	

LEGEND	
WALL ASSEMBLY	
	CONCRETE WALL
	8" CMU
	4" BRICK
	3" EIFS
ROOM / SPACE TAGS	
	ROOM NAME
	AREA
	SECTION
	ELEVATION
	DETAIL REF.

A CELLAR PLAN COMMERCIAL SPACE & MECH. SPACES

3/16" = 1'-0"

GF55

225 WEST 39TH STREET
NEW YORK, NY 10018
212 352 3099
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Las Raices

303 E 102nd St New York, NY 10029
BLOCK: 1674 LOT: 104

PROJECT # 1816.00

OWNER	MDG NY
DESIGN ARCHITECT	GF55 Partners, LLP
MECHANICAL ENGINEER	Dagher Engineering
STRUCTURAL ENGINEER	De Nardis Engineering, LLC
ISSUE	

CONSTRUCTABILITY SET	2/13/2020

KEY PLAN	

SCALE	

DRAWING	
CELLAR - FIRST FLOOR PLAN	

SEAL AND SIGNATURE	DATE: 9/24/2020
	PROJECT NO: 1816.00
	DRAWING BY:
	CHK BY:
	DWG NO:
	A-101.00
	SHEET NO: 14

Development Site B

338 E117 Street - Area Map



Project

- Project Area
- Development Site
- Rezoning Area
- 600 Foot Radius

Zoning

- Zoning District
- C1-1
- C1-2
- C1-3
- C1-4
- C1-5
- C2-1
- C2-2
- C2-3
- C2-4
- C2-5
- Special Purpose District

Land Use

- 1-2 Family Residential
- Multifamily Walkup
- Multifamily Elevator
- Mixed Commercial/Residential
- Commercial & Office
- Industrial & Mfg
- Transportation & Utility
- Public Facilities & Institutions
- Open Space & Outdoor Recreation
- Parking
- Vacant/No Data
- Other

Transportation

- Subway Stop
- Subway Entrance

Map Created: Apr 30, 2020, 12:53am
Data Sources: layers-api.planninglabs.nyc/v1/sources
pluto MapPLUTO™ 20v3, Bytes of the Big Apple (April 2020); zoning-districts (March 2020); digital-citymap (6 April 2018); planimetrics (26 February 2019); transportation (21 November 2017); supporting-zoning (Dec 2019)





NYC Digital Tax Map

Effective Date : 12-09-2008 13:12:04
End Date : Current
Manhattan Block: 1688

Development Site B
338 East 117th Street

- Legend

 - Streets
 - Miscellaneous Text
 - Possession Hooks
 - Boundary Lines
 - Lot Face Possession Hooks
 - Regular
 - Underwater
 - Tax Lot Polygon
 - Condo Number
 - Tax Block Polygon
- Development Site
 - Development area
 - Zoning boundary





Apr 22, 2020
New York, NY 10035

1. Looking southwest from sidewalk of E. 117th St. toward Development Site.



Apr 22, 2020
New York, NY 10035

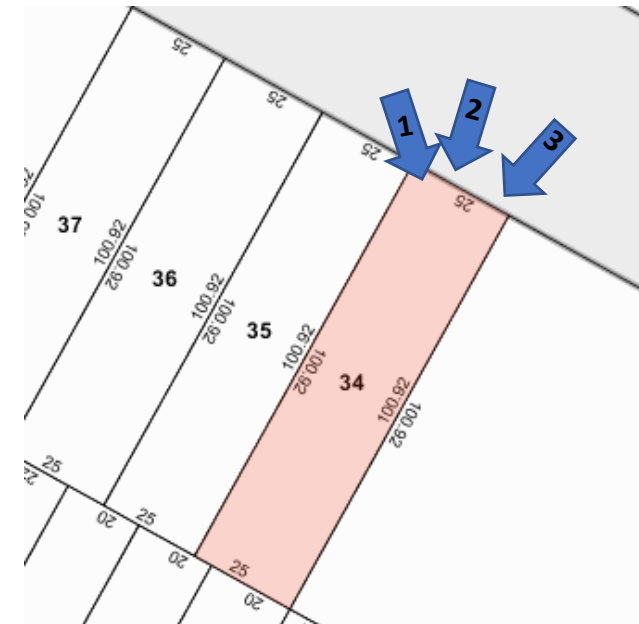
2. Looking southeast from sidewalk E. 117th St. toward Development Site.

Development Site B 388 East 117th St.



Apr 22, 2020
New York, NY 10035

3. Looking southwest from sidewalk of E. 117th St. toward Development Site.



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NEW YORK, NY 10018
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Las Raices

303 E 102nd St New York, NY 10029
BLOCK: 1674 LOT: 104

PROJECT # 1816.00

OWNER
MDG NY
DESIGN ARCHITECT
GF55 Partners, LLP
MECHANICAL ENGINEER
Dagher Engineering
STRUCTURAL ENGINEER
De Nardis Engineering, LLC
ISSUE

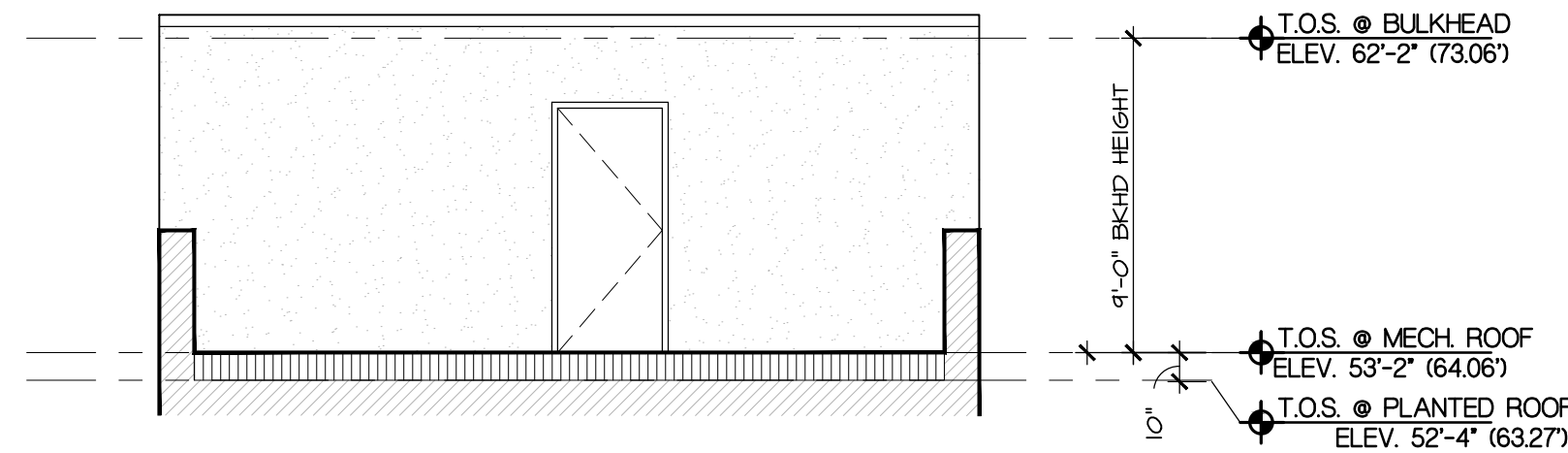
CONSTRUCTABILITY SET	2/13/2020

KEY PLAN	
303 E 102ND ST BLOCK: 1674 LOT: 104	102ND ST

SCALE

DRAWING
BUILDING ELEVATIONS

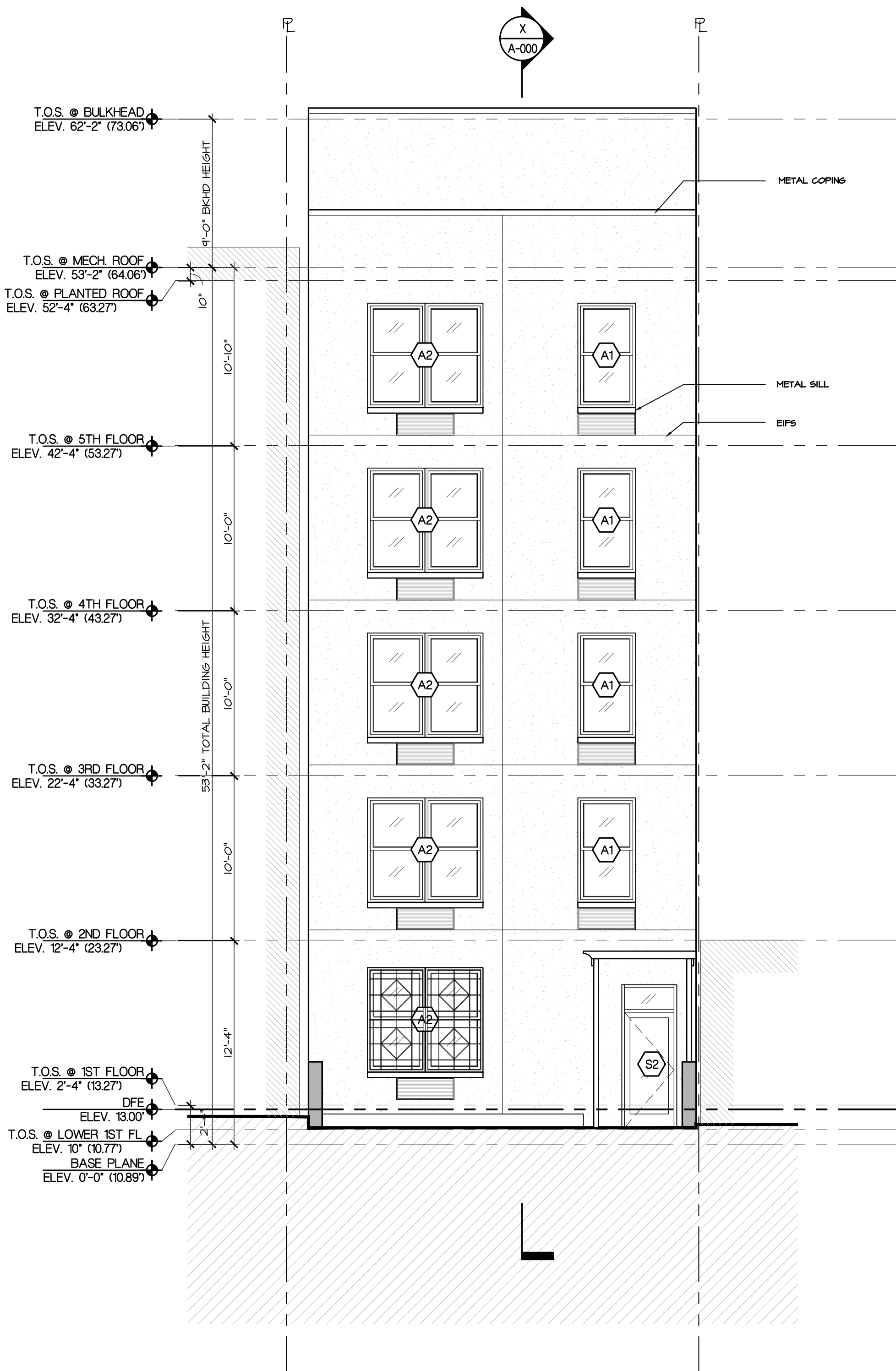
SEAL AND SIGNATURE
DATE: 9/24/2020
PROJECT NO: 1816.00
DRAWING BY:
CHK BY:
DWG NO:
A-301.00
SHEET NO: —



BUILDING MATERIAL LEGEND	
	BRICK VENEER
	EIFS - COLOR BY OWNER
	STONE WINDOW HEAD/SILL

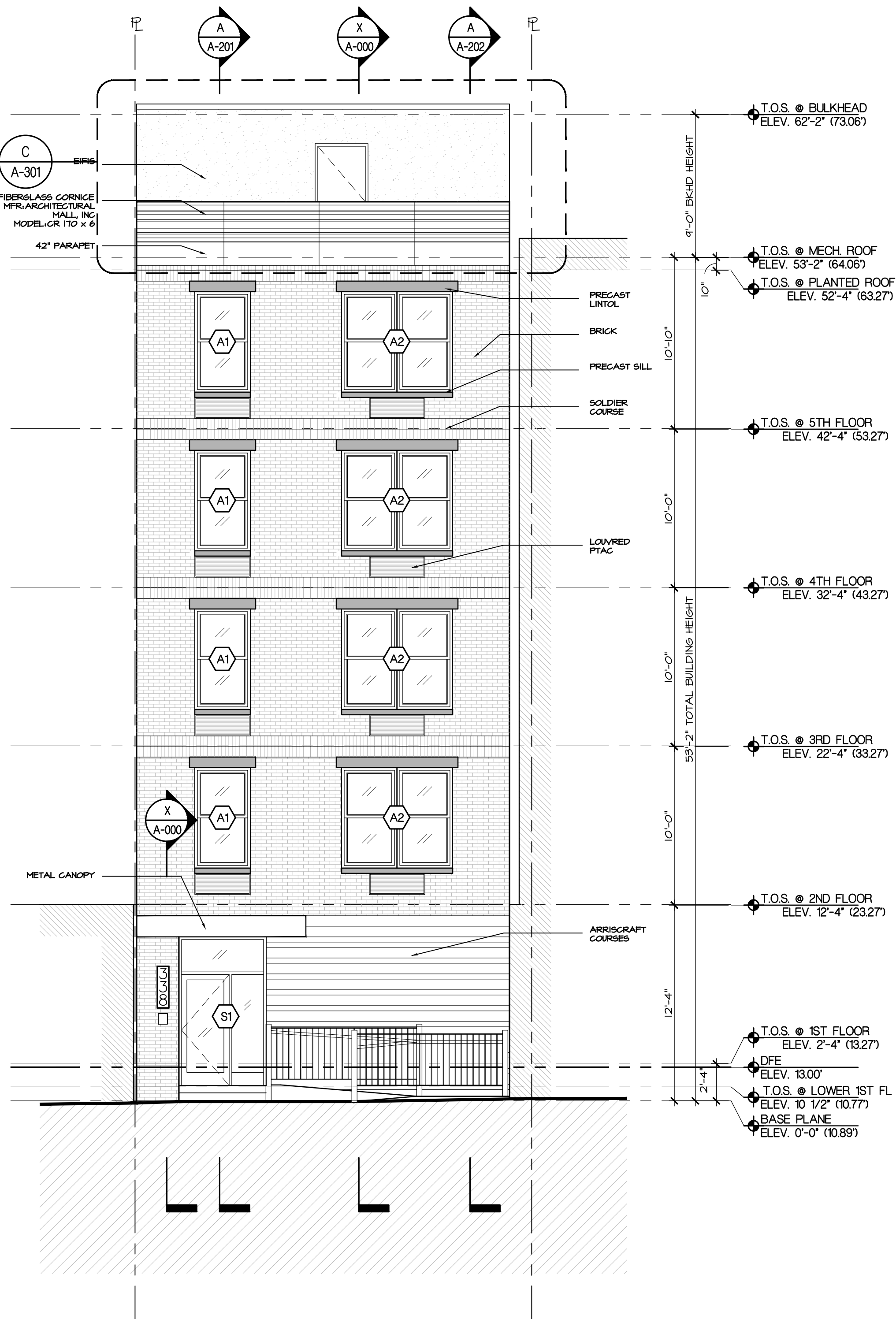
BUILDING ELEVATION (PART)
SOUTH-EAST

3/16" = 1'-0"



BUILDING ELEVATION
SOUTH-WEST

3/16" = 1'-0"



BUILDING ELEVATION
NORTH-EAST

3/16" = 1'-0"

Las Raices

338 E 117th St New York, NY 10035
BLOCK: 1688 LOT: 34

PROJECT # 1816.00

OWNER

MDG NY

DESIGN ARCHITECT

GF55 Partners, LLP

MECHANICAL ENGINEER

Dagher Engineering

STRUCTURAL ENGINEER

De Nardis Engineering, LLC

ISSUE

Design Development Set

CONSTRUCTABILITY SET

2.13.20

KEY PLAN

SCALE

DRAWING

1ST - 2ND FLOOR PLAN

SEAL AND SIGNATURE

DATE: 9/24/2020

PROJECT NO.: 1816.00

DRAWING BY:

CHK BY:

DWG NO:

A-101.00

SHEET NO.: 14

2nd-3RD FLOOR OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.1			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
RESIDENTIAL	1310.0	200	7
TOTAL			7

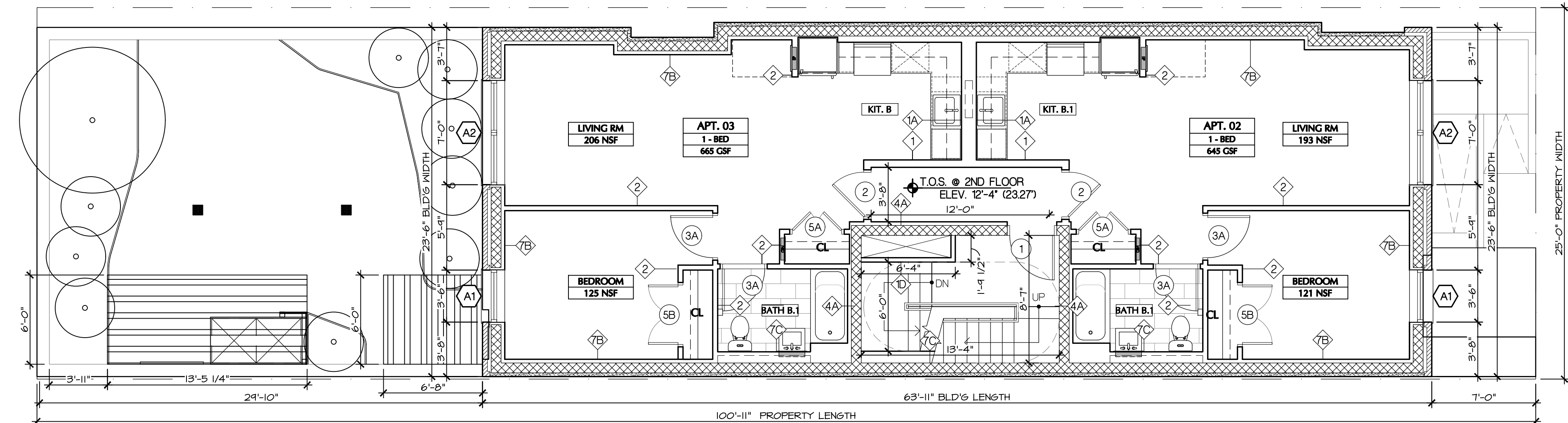
EXIT & ACCESS REQUIREMENTS AS PER TABLE 1005.1			
STAIRS	0.3' / OCCUPANT		
	REQUIRED 12 X 0.3'	2.0'	
	PROVIDED 1 @ 36'	36'	
DOORS	0.2' / OCCUPANT		
	REQUIRED 12 X 0.2'	1.3'	
	PROVIDED 1 @ 36'	36'	
		COMPLIES	

LEGEND	
WALL ASSEMBLY	
	CONCRETE WALL
	8" CMU
	4" BRICK
	3" EPS
ROOM/SPACE TAGS	
	APT #
	BEDROOM AREA
	LIVING AREA
	TYPE
PLANT TAGS	
	WINDOW TYPE
	DOOR #
	PARTITION TYPE
	SECTION
	ELEVATION
	DETAIL REF.

- CONSTRUCTION NOTES**
- ALL DIMENSIONS FINISH TO FINISH
 - REFER TO STAIR DETAIL DRAWINGS FOR STAIR DIMENSIONS AND DETAILS
 - BUILDING TO BE IN FULL COMPLIANCE WITH NYC ENERGY CODE / ASHRAE
 - FOR KITCHEN AND BATHROOM DETAILS AND DIMENSIONS SEE DETAIL DRAWINGS
 - FIRESTOP AND FIRESEAL ALL PENETRATIONS THROUGH RATED HALLS AND RATED FLOORS/SLABS
 - ALL CORRIDOR WALLS TO BE MIN 1/2 HR RATED
 - GAS RISERS IN PRESSURE HALLS TO BE SEPARATED BY A 2 HR RATED INDEPENDENT ENCLOSURE. GAS RISERS MAY NOT BE LOCATED IN CORRIDORS SPACES WITH RATED HALLS BETWEEN APARTMENTS AND APARTMENTS AND APARTMENTS AND CORRIDORS
 - MAINTAIN SISING GAPS AS PER STRUCTURAL DRAWINGS

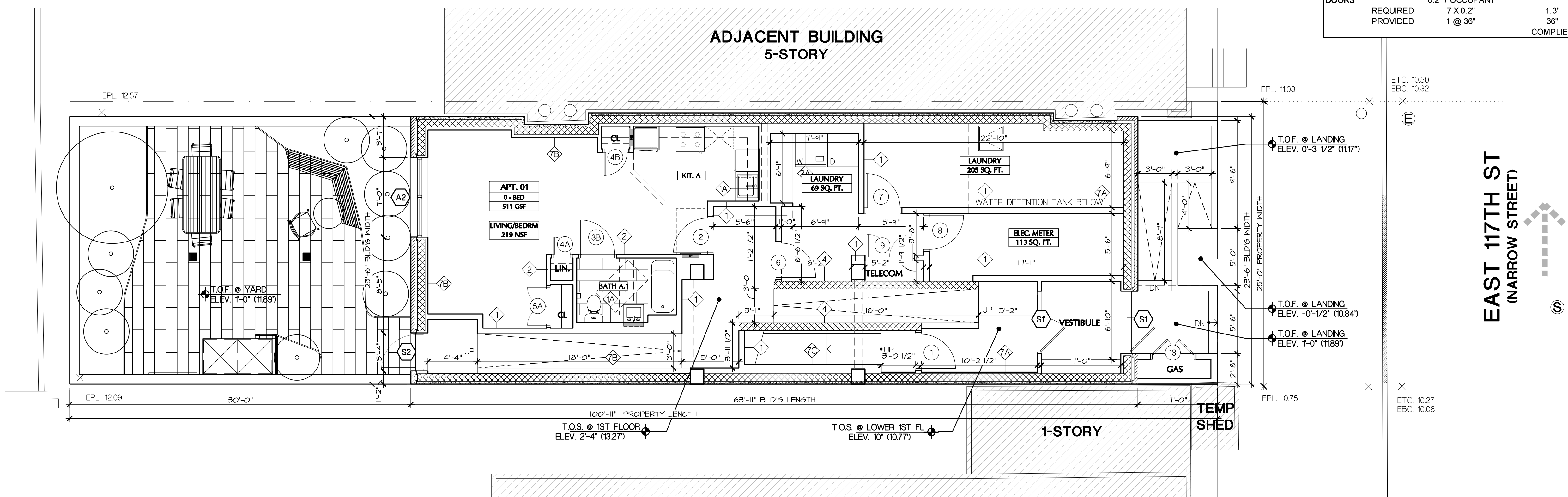
1st FLOOR OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
ELEC. ROOM	113.0	300	1
WATER METER ROOM	205.0	300	1
TELECOM	5.0	300	1
LAUNDRY	69.0	200	1
RESIDENTIAL	511.0	200	3
TOTAL			7

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
DOORS	0.2' / OCCUPANT		
	REQUIRED 7 X 0.2'	1.3'	
	PROVIDED 1 @ 36'	36'	
		COMPLIES	



B SECOND FLOOR PLAN

3/16" = 1'-0"



A FIRST FLOOR PLAN

3/16" = 1'-0"

Development Site C

505 E118 Street Area Map



Project

- Project Area
- Development Site
- Rezoning Area
- 600 Foot Radius

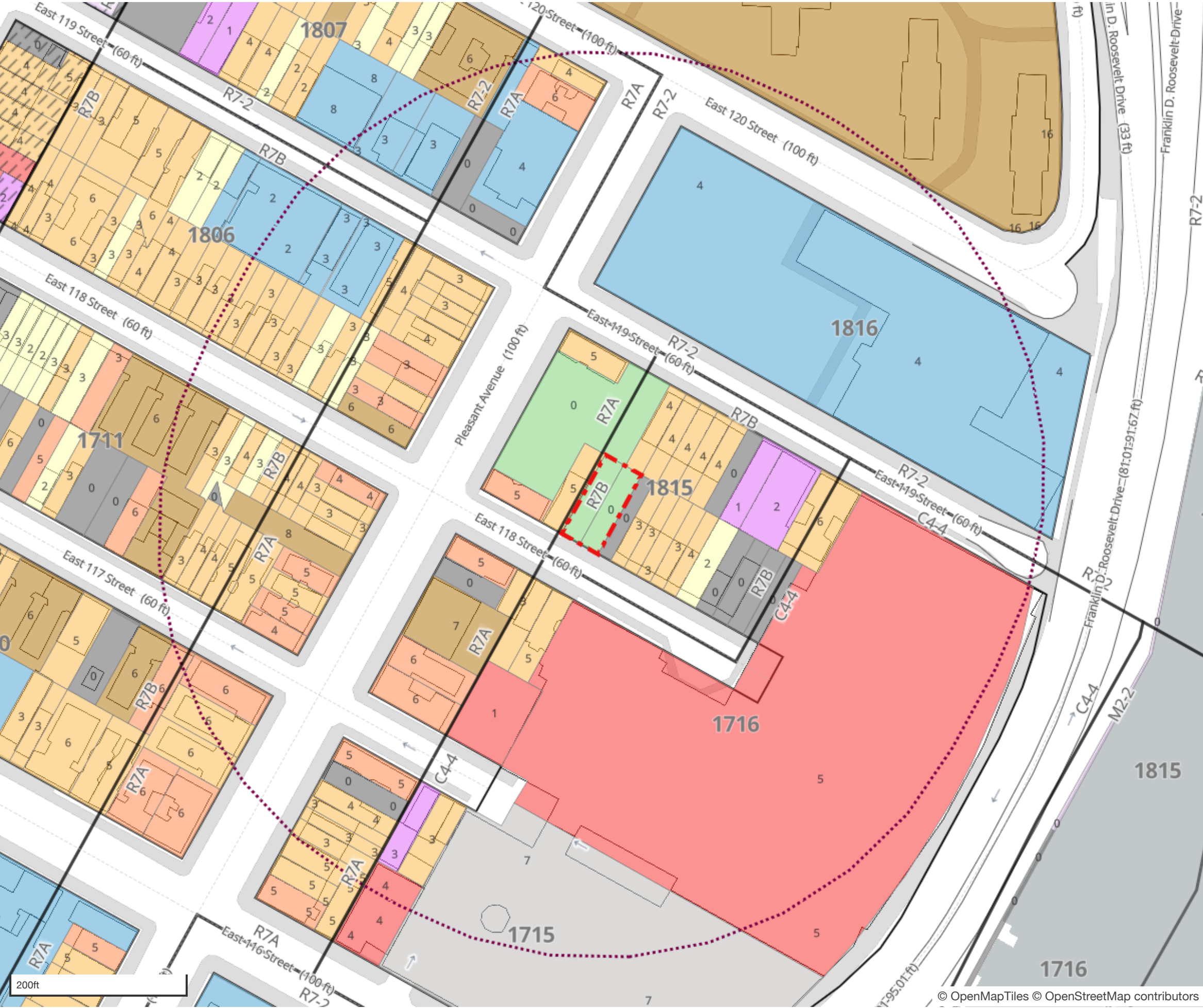
Zoning

- Zoning District
 - C1-1
 - C1-2
 - C1-3
 - C1-4
 - C1-5
 - C2-1
 - C2-2
 - C2-3
 - C2-4
 - C2-5
 - Special Purpose District
- ### Land Use
- 1-2 Family Residential
 - Multifamily Walkup
 - Multifamily Elevator
 - Mixed Commercial/Residential
 - Commercial & Office
 - Industrial & Mfg
 - Transportation & Utility
 - Public Facilities & Institutions
 - Open Space & Outdoor Recreation
 - Parking
 - Vacant/No Data
 - Other

Transportation

- Subway Stop
- Subway Entrance

Map Created: Apr 30, 2020, 12:51am
Data Sources: layers-api.planninglabs.nyc/v1/sources
pluto MapPLUTO™ 20v3, Bytes of the Big Apple (April 2020); zoning-districts (March 2020); digital-citymap (6 April 2018); planimetrics (26 February 2019); transportation (21 November 2017); supporting-zoning (Dec 2019)



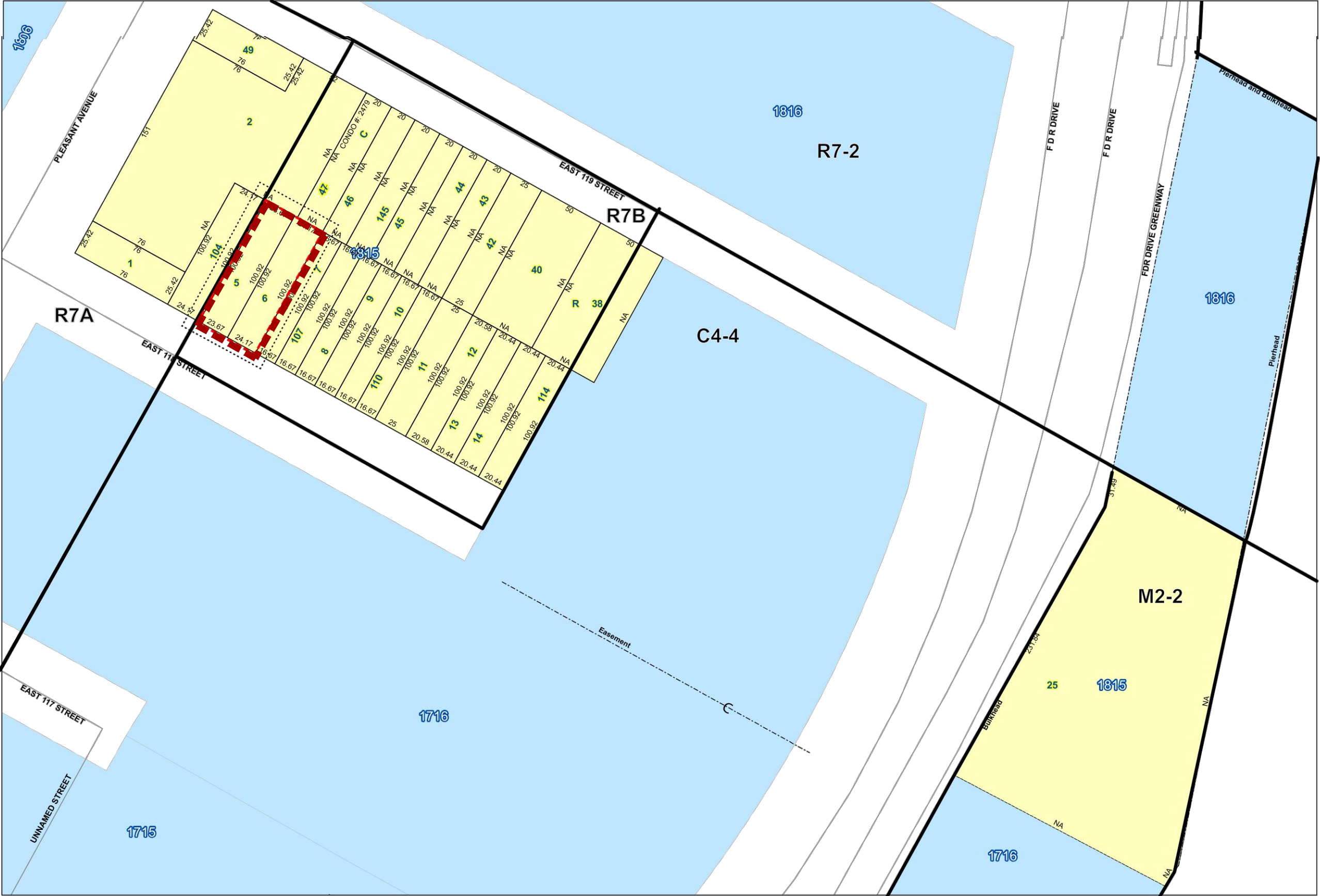


NYC Digital Tax Map

Effective Date : 01-11-2016 16:08:32
End Date : Current
Manhattan Block: 1815

Development Site C
505 East 118th Street

- Legend
- Streets
 - Miscellaneous Text
 - Possession Hooks
 - Boundary Lines
 - Lot Face Possession Hooks
 - Regular
 - Underwater
 - Tax Lot Polygon
 - Condo Number
 - Tax Block Polygon
- Development Site
- Development area
- Zoning boundary





1. Looking northeast from sidewalk of E. 118th St. toward Development Site.



2. Looking north from sidewalk E. 118th St. toward Development Site.

Development Site C
505 East 118th St.

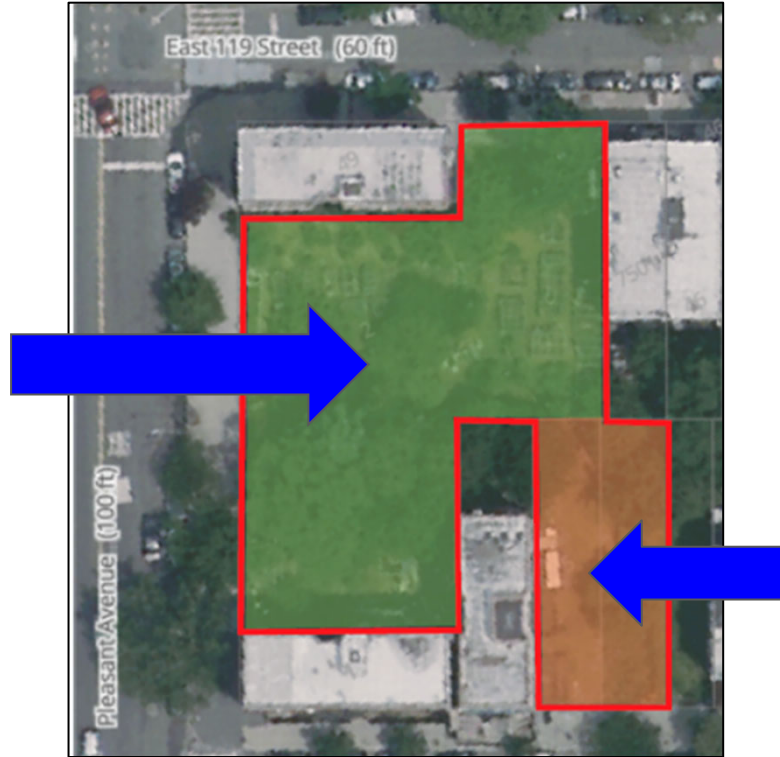


3. Looking northwest from sidewalk of E. 117th St. toward Development Site.

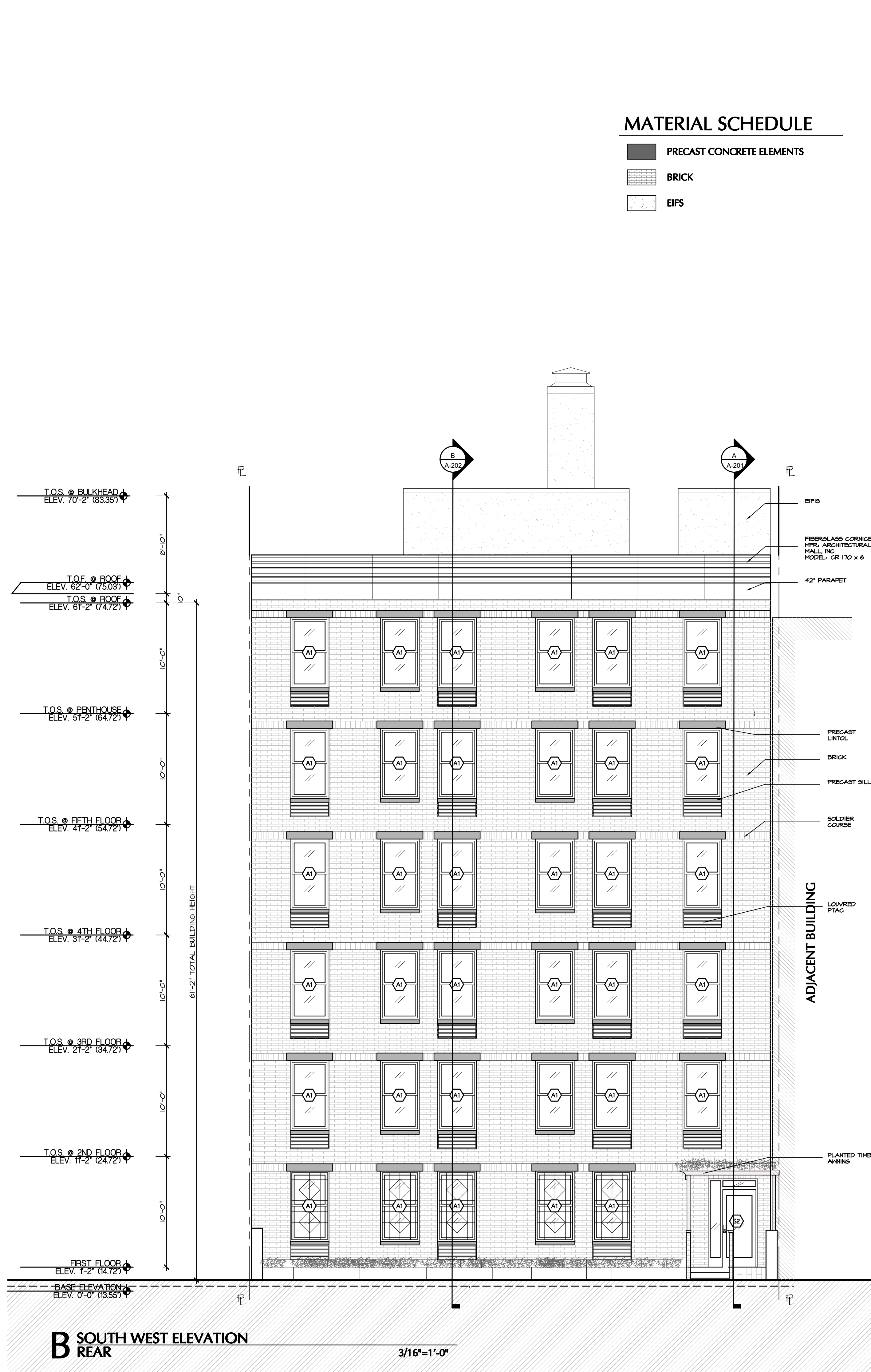
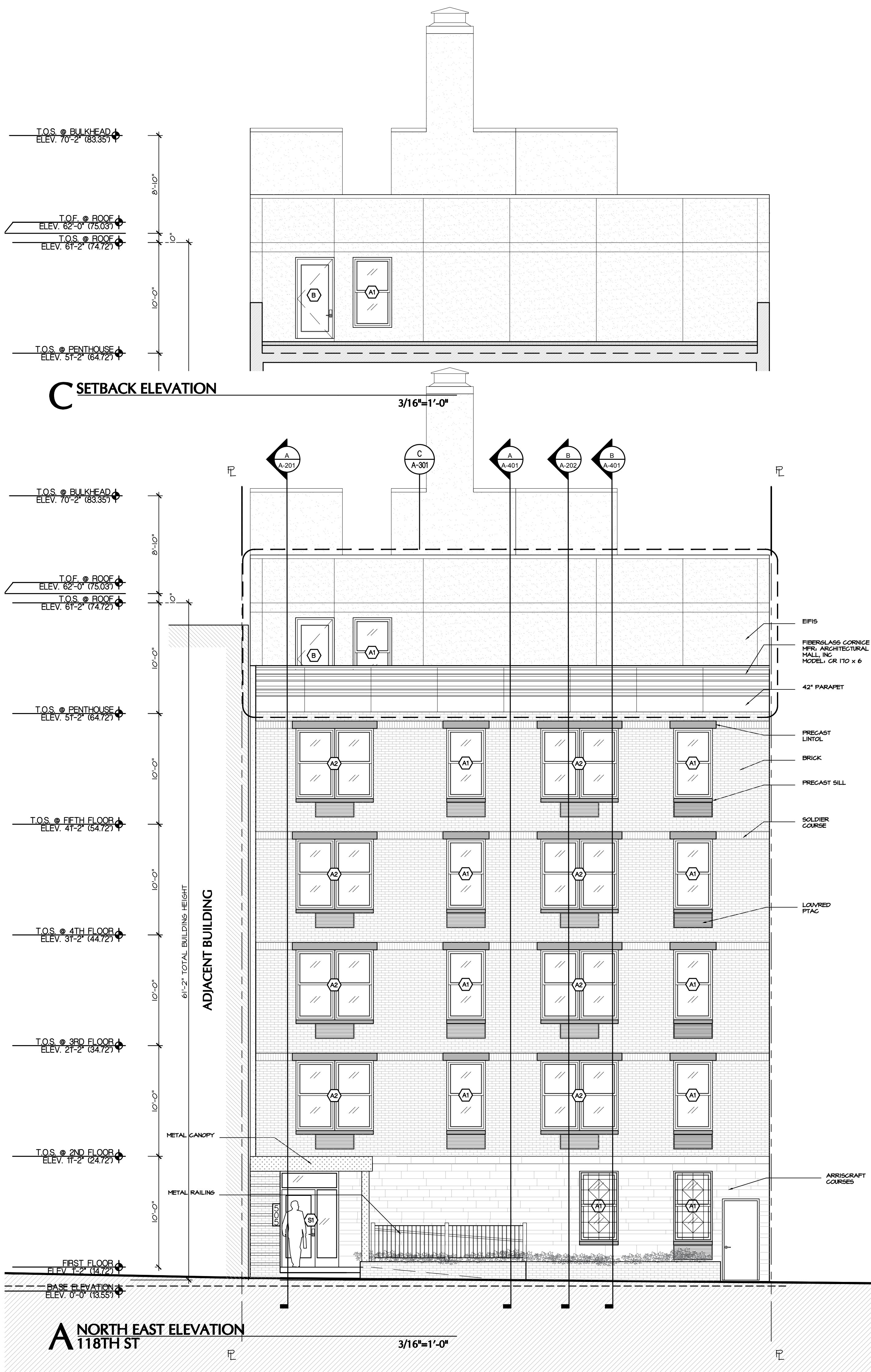


Development Site C - 505 E118th Street

**Pleasant Village
Community Garden
site to remain
shaded green**



**Development Site C
505 East 118th Street
shaded orange**



MATERIAL SCHEDULE

- PRECAST CONCRETE ELEMENTS
- BRICK
- EIFS

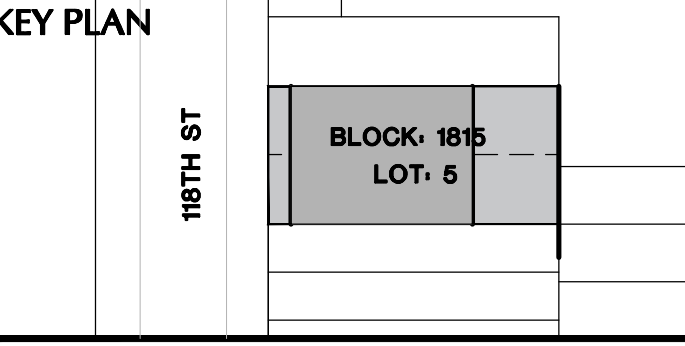
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Las Raices
505-507 E 118th St New York, NY 10035
Block 1815 I Lot 5&6
PROJECT # 1816.00

OWNER
MDG NY
DESIGN ARCHITECT
GF55 Partners, LLP
MECHANICAL ENGINEER
Dagher Engineering
STRUCTURAL ENGINEER
De Nardis Engineering, LLC
ISSUE
HPD BLDG DESIGN CONSULTATION

HPD BLDG DESIGN CONSULTATION	2/13/20



SCALE

DRAWING
ELEVATIONS

DATE: 7/27/2020
PROJECT NO.: 1816.00
DRAWING BY: DM
CHK BY: JMF
DWG NO.:
A-301.00
SHEET NO.: 28

OWNER

MDG NY

DESIGN ARCHITECT

GF55 Partners, LLP

MECHANICAL ENGINEER

Dagher Engineering

STRUCTURAL ENGINEER

De Nardis Engineering, LLC

SUE

HPD BLDG DESIGN CONSULTATION

D BLDG DESIGN CONSULTATION 2/13/20

KEY PLAN

SCALE

DRAWING

ST FLOOR PLAN

L AND SIGNATURE

E: 7/27/2020

PROJECT NO: 1816.00

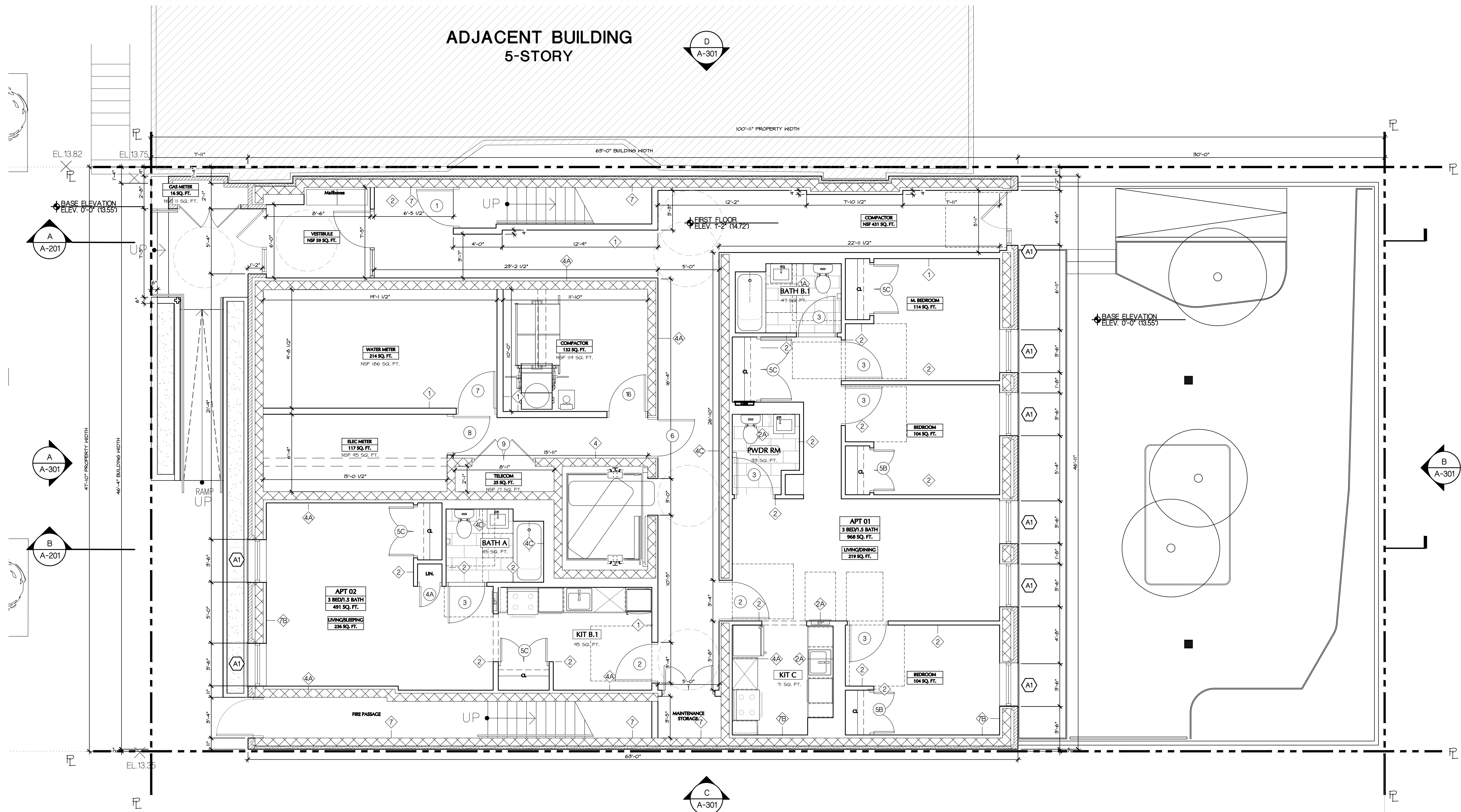
DRAWING BY: DM

BY: LF

G NO:

A-101.00

ET NO.:


















1st FLOOR			
OCCUPANTS & LOAD REQUIREMENTS			
AS PER TABLE 1004.1.2			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
TRASH ROOM	132.0	300	1
ELEC. ROOM	117.0	300	1
WATER METER ROOM	214.0	300	1
TELECOM	35.0	300	1
RESIDENTIAL	968.0	200	5
TOTAL			9

EXIT ACCESS REQUIREMENTS AS PER TABLE 1005.1			
STAIRS	0.3" / OCCUPANT		
	REQUIRED	32 X 0.3"	2.7"
	PROVIDED	2 @ 36"	72"
		COMPLIES	
DOORS	0.2" / OCCUPANT		
	REQUIRED	32 X 0.2"	1.8"
	PROVIDED	2 DOORS @ 36"	72"
		COMPLIES	

CONSTRUCTION NOTES

1. ALL DIMENSIONS FINISH TO FINISH
2. REFER TO STAIR DETAIL DRAWINGS FOR STAIR DIMENSIONS AND DETAILS
3. BUILDING TO BE IN FULL COMPLIANCE WITH NYS ENERGY CODE / ASHRAE 90.1-2010
4. FOR KITCHEN AND BATHROOM DETAILS SEE DETAIL DRAWINGS. SEE DETAIL DRAWING FOR STAIRS
5. FIRESTOP AND FIRESEAL ALL PENETRATIONS THROUGH RATED WALLS AND RATED FLOORS/SLABS
6. ALL CORRIDOR WALLS TO BE MIN 2HR RATED
7. GAS RISERS IN DEMISING WALLS TO BE SEPARATED BY A 2 HR RATED INDEPENDENT ENCLOSURE. GAS RISERS MAY NOT BE LOCATED IN CONCEALED SPACES WITHIN RATED WALLS
8. ALL CORRIDOR WALLS AND APARTMENTS AND APARTMENTS ARE CORRIDORS
9. MAINTAIN SEISMIC GAPS AS PER STRUCTURAL DRAWINGS

LEGEND	
WALL ASSEMBLY	
	CONCRETE WALL
	8" CMU
	4" BRICK
	3" EPS
ROOM/SPACE TAGS	
	 WINDOW TYPE  DOOR #  PARTITION TYPE
	
	
	
	 SECTION  ELEVATION  DETAIL REF.

A FIRST FLOOR PLAN

$1/4'' = 1'-0''$



Development Site D

1761 Park Avenue Area Map



Project

- Project Area
- Development Site
- Rezoning Area
- 600 Foot Radius

Zoning

- Zoning District
- C1-1
- C1-2
- C1-3
- C1-4
- C1-5
- C2-1
- C2-2
- C2-3
- C2-4
- C2-5
-
- Special Purpose District

Land Use

1-2 Family Residential

Multifamily Walkup

Multifamily Elevator

Mixed Commercial/Residential

Commercial & Office

Industrial & Mfg

Transportation & Utility

Public Facilities & Institutions

Open Space & Outdoor Recreation

Parking

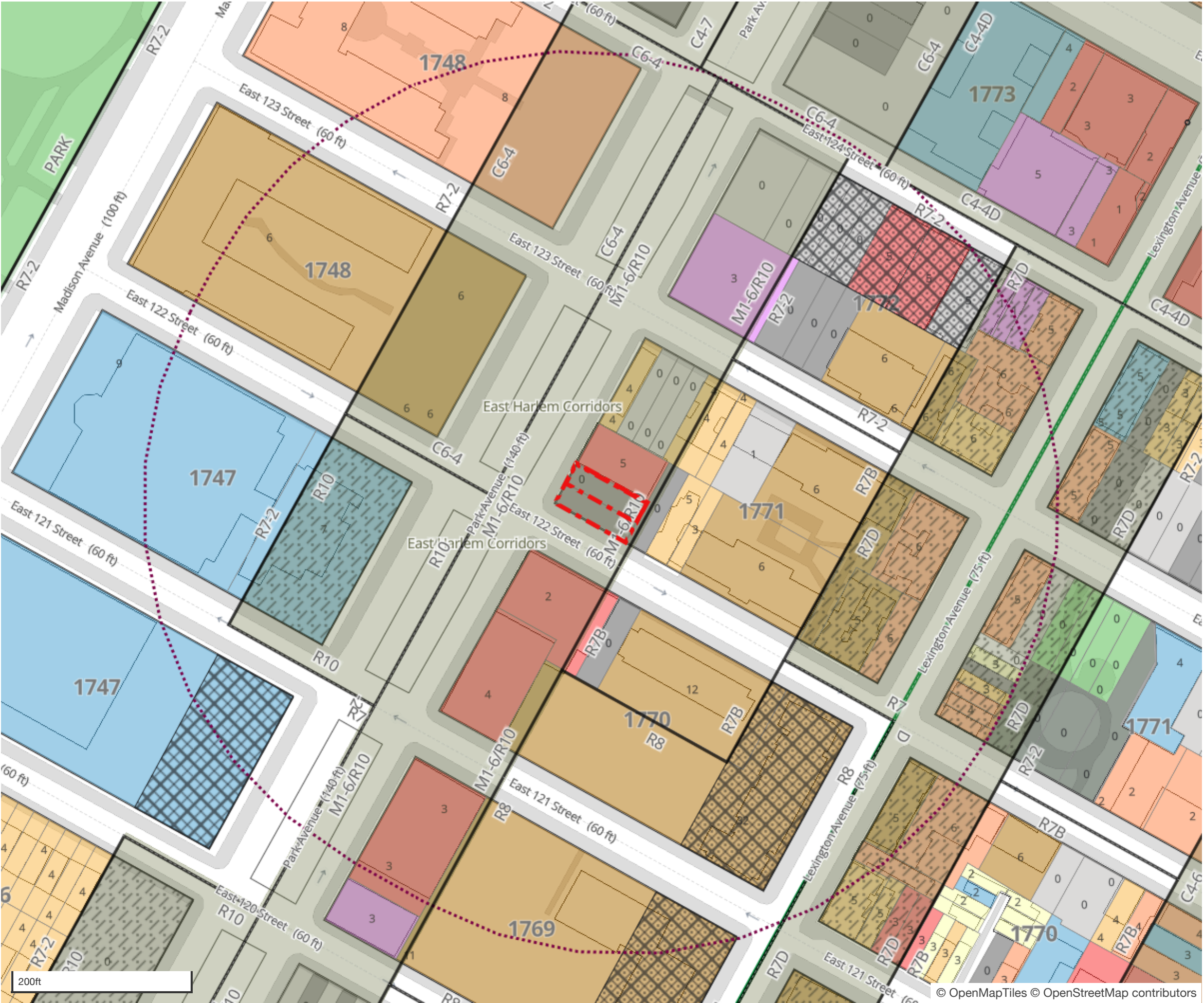
Vacant/No Data

Other

Transportation

- Subway Stop
- Subway Entrance

Map Created: Apr 30, 2020, 12:40am
Data Sources: [layers-api.planninglabs.nyc/v1/sources](#)
planimetrics (26 February 2019); transportation (21 November 2017);
supporting-zoning (Dec 2019); digital-citymap (6 April 2018); pluto
MapPLUTO™ 20v3, Bytes of the Big Apple (April 2020)





NYC Digital Tax Map

Effective Date : 12-09-2008 13:38:45
End Date : Current
Manhattan Block: 1771

Development Site D 1761 Park Avenue

- Legend
- Streets
 - Miscellaneous Text
 - Possession Hooks
 - Boundary Lines
 - Lot Face Possession Hooks
 - Regular
 - Underwater
 - Tax Lot Polygon
 - Condo Number
 - Tax Block Polygon
 - Development Site
 - Development area
 - Zoning boundary





1. Looking northeast from the corner of E. 118th St. and Park Ave toward Development Site.

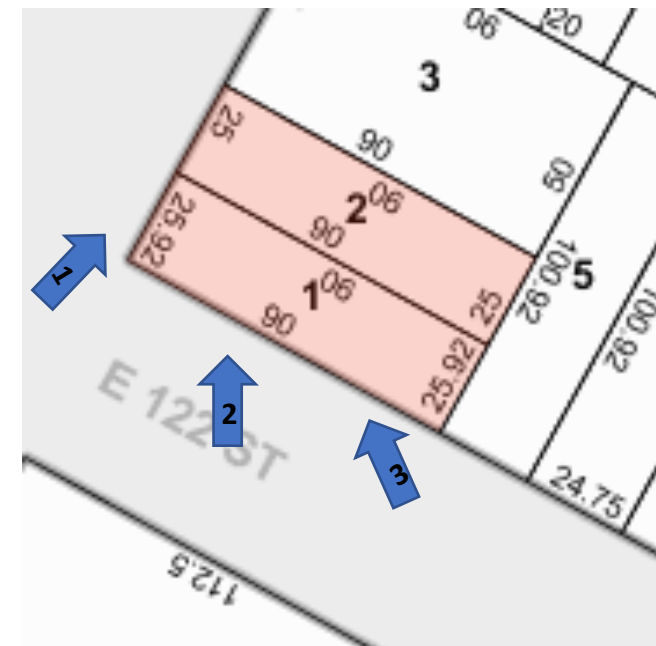


2. Looking north from sidewalk E. 122nd St. toward Development Site.

Development Site D 1761 Park Avenue



3. Looking northwest from sidewalk of E. 122nd St. toward Development Site.



Development Site D – 1761 Park Avenue

**Development Site D
1761 Park Avenue
shaded orange**



**Jackie Robinson
Community Garden
site to remain
shaded green**

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NEW YORK, NY 10018
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PROJECT # 1816.00

OWNER
MDG NY
DESIGN ARCHITECT
CF55 Partners, LLP
MECHANICAL ENGINEER
Dagher Engineering
STRUCTURAL ENGINEER
De Nardis Engineering, LLC
ISSUE
DESIGN DEVELOPMENT

[illegible]

KEY PLAN

PARK AVE

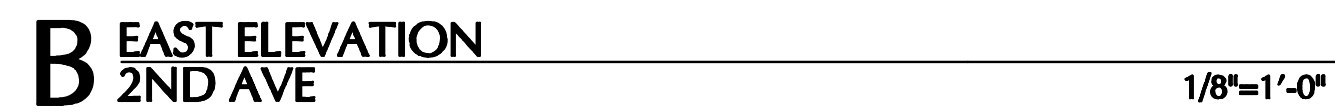
ELEVATED TRAIN

122ND ST

SCALE

DRAWING ELEVATIONS

SEAL AND SIGNATURE	DATE: 8/28/2020
	PROJECT NO: 1816.00
	DRAWING BY: 0001
	CHK BY: 1111
	DWG NO:
	A-302.00
	SHEET NO.: 37



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Las Raices
1761-1763 Park Ave,
New York, NY 10035
Block 1771 | Lot 1&2

PROJECT # 1816.00

OWNER
MDG NY

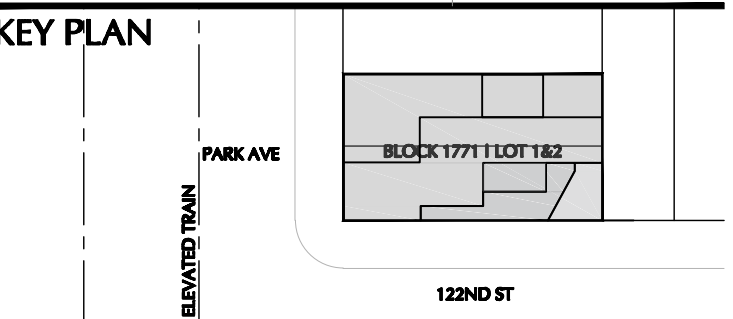
DESIGN ARCHITECT
GF55 Partners, LLP

MECHANICAL ENGINEER
Dagher Engineering

STRUCTURAL ENGINEER
De Nardis Engineering, LLC

ISSUE
DESIGN DEVELOPMENT

CONSTRUCTABILITY SET 1/9/2021



SCALE

DRAWING
1ST FLOOR

SEAL AND SIGNATURE

DATE: 8/28/2020

PROJECT NO: 1816.00

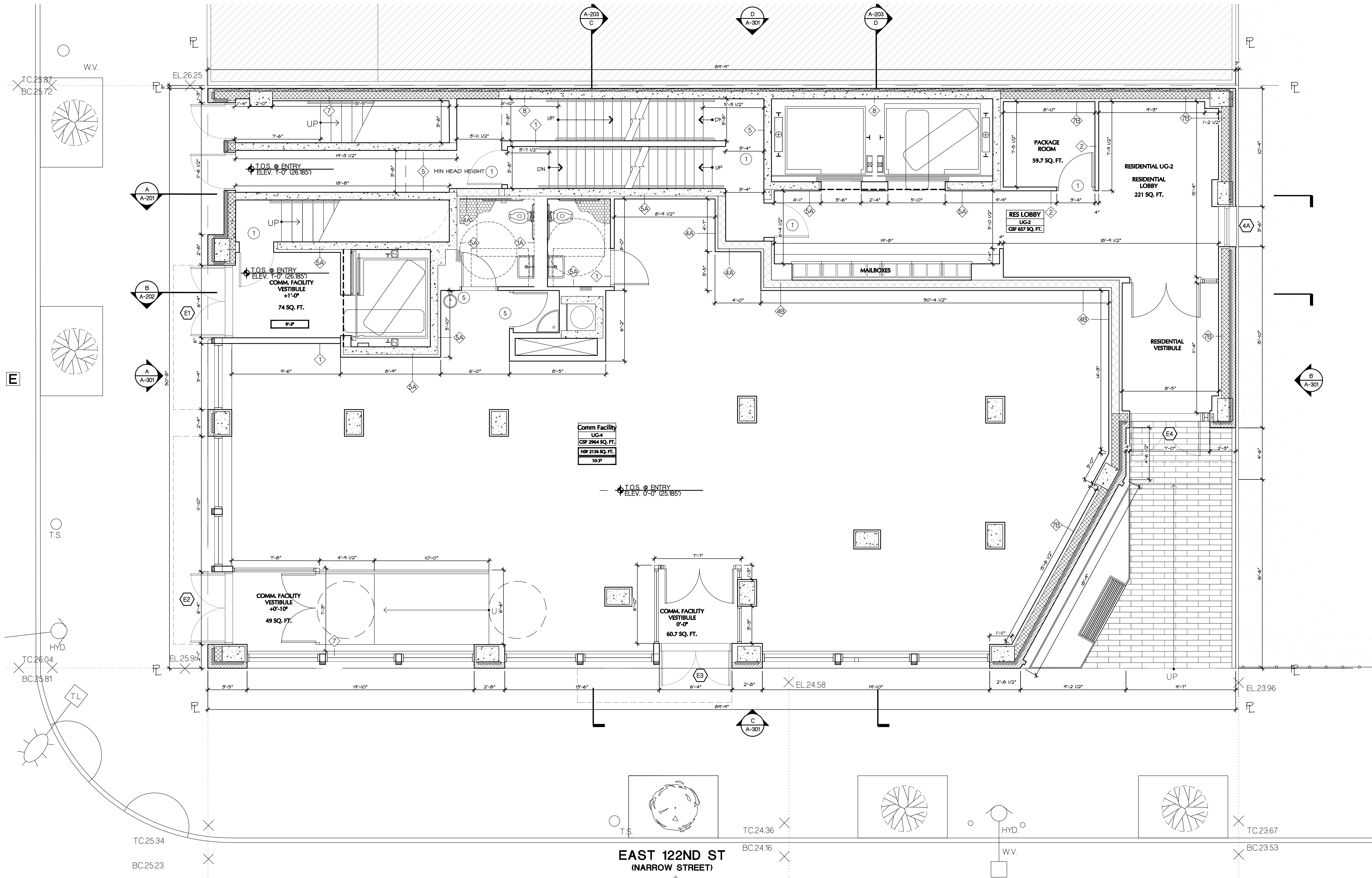
DRAWING BY: DM

CHK BY: LF

DWG NO:

A-102.00

SHEET NO: ### 15



1ST FLOOR OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.1			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
C.F. BUSINESS	3043.0	100	30
TOTAL			30

EXIT & ACCESS REQUIREMENTS AS PER TABLE 1005.1			
STAIRS	REQUIRED	0.3' / OCCUPANT	9.1"
	PROVIDED	2 @ 44"	88"
COMPLIES			
DOORS	REQUIRED	0.2' / OCCUPANT	6.1"
	PROVIDED	6 DOORS @ 36"	108"
COMPLIES			

OCCUPANTS & LOAD REQUIREMENTS AS PER TABLE 1004.1.1			
OCCUPANCY	AREA	SF/PERSON	# OF OCCUPANTS
LOBBY & VEST.	655.0	200	3

EXIT & ACCESS REQUIREMENTS AS PER TABLE 1005.1			
STAIRS N/A			
DOORS	REQUIRED	0.2' / OCCUPANT	0.7"
	PROVIDED	3 DOORS @ 36"	180"
COMPLIES			

CONSTRUCTION NOTES

- ALL DIMENSIONS FINISH TO FINISH
- REFER TO STAIR DETAIL DRAWINGS FOR STAIR DIMENSIONS AND DETAILS
- BUILDING TO BE IN FULL COMPLIANCE WITH NYC ENERGY CODE / ASHRAE
- FOR KITCHEN AND BATHROOM DETAILS AND DIMENSIONS SEE DETAIL DRAWINGS
- FIRESTOP AND FIRESEAL. ALL PENETRATIONS THROUGH RATED WALLS AND RATED FLOORS/SLABS
- ALL CORRIDOR WALLS TO BE MIN. 2HR RATED
- GAS RISERS IN DRINKING WALLS TO BE SEPARATED ON SEPARATE WALLS FROM RATED WALLS BETWEEN APARTMENTS AND APARTMENTS AND APARTMENTS
- MAINTAIN SEISMIC GAPS AS PER STRUCTURAL DRAWINGS

LEGEND	
WALL ASSEMBLY	
CONCRETE WALL	
8" CMU	
4" BRICK	
3" EPS	
ROOM/SPACE TAGS	
APT #	WINDOW TYPE
RENAME	DOOR #
AREA	PARTITION TYPE
NAME	SECTION
AREA	ELEVATION
TYPE	DETAIL REF.

3/16" = 1'-0"

A 1ST FLOOR