PROPOSED NEW DEVELOPMENT SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, WATERFRONT SUBDISTRICT B LOTS 7,8,9

39-08 JANET PLACE FLUSHING, NY 11354



VIEW: LOOKING NORTH EAST FROM FLUSHING CREEK

Waterfront Public Access Area and Visual Corridors

UKAV	VING LIST	SCALE	SHEET N
G SERIES (0	GENERAL DRAWINGS)		
G-001.00	COVER SHEET + DRAWING LIST	N/A	1
C SERIES (S	URVEY DRAWINGS)		
C-001.00	SURVEY	1" = 20'-0"	2
C-002.00	SURVEY DIAGRAM (INCLUDES PARCEL 5)	1" = 20'-0"	3
L SERIES (L	ANDSCAPE ARCHITECTURAL DRAWINGS)		
L-001.00	ZONING LOT SITE PLAN	1" = 20'-0"	4
L-002.00	WATERFRONT ZONING ANALYSIS DIAGRAM	1" = 20'-0"	5
L-003.00	WPAA ZONING ANALYSIS COMPLIANCE TABLE I	N/A	6
L-004.00	WPAA ZONING ANALYSIS COMPLIANCE TABLE II	N/A	7
L-005.00	WPAA ZONING ANALYSIS COMPLIANCE TABLE III	N/A	8
L-005.00 L-006.00	WPAA ZONING ANALYSIS COMPLIANCE TABLE IV	N/A	9
L-100.00	DIMENSION PLAN	1" = 20'-0"	10
L-200.00	MATERIALS PLAN	1" = 20'-0"	1
L-300.00	FINAL GRADING PLAN	1" = 20'-0"	1:
L-300.00 L-301.00	INTERIM GRADING PLAN (PARCEL 7 FINAL + PARCEL 5 EXISTING)	1" = 20'-0"	1:
L-400.00	PLANTING PLAN + TREE SCHEDULES	1" = 20'-0"	14
L-401.00	UNDERSTORY PLANTING SCHEDULES	1 – 20-0 N/A	1
		•	
L-402.00	PLANTING IMAGES I	N/A	1
L-403.00	PLANTING IMAGES II	N/A	1
L-500.00	FURNISHINGS PLAN	1" = 20'-0"	1
L-501.00	FURNISHINGS SCHEDULEI	N/A	1
L-502.00	FURNISHINGS SCHEDULE II	N/A	2
L-600.00	LIGHTING PLAN	1" = 20'-0"	2
LANDSCAP	E ARCHITECTURAL SITE SECTIONS/ELEVATIONS		
L-700.00	SITE SECTIONS/ELEVATIONS I	1" = 20'-0"	2
L-701.00	SITE SECTIONS/ELEVATIONS II	1" = 10'-0"	2
L-702.00	SITE SECTIONS/ELEVATIONS III	1/4" = 1'-0"	2
L-703.00	SITE SECTIONS/ELEVATIONS IV	1/4" = 1'-0"	2
LANDSCAP	E ARCHITECTURAL DETAILS		
L-800.00	SITE DETAILS I	VARIES	2
L-801.00	SITE DETAILS II	VARIES	2
L-802.00	SITE DETAILS III	VARIES	2
L-803.00	SITE DETAILS IV	VARIES	2
L-804.00	SITE DETAILS V	VARIES	3
L-805.00	SITE DETAILS VI	VARIES	3
L-806.00	SITE DETAILS VII	VARIES	3
L-807.00	SITE DETAILS VIII	VARIES	3
PHASING P	<u>LANS</u>		
L-900.00	WATERFRONT ZONING LOT PHASING: PHASE 1 PLAN	1" = 20'-0"	3
L-901.00	WATERFRONT ZONING LOT PHASING: PHASE 2 PLAN	1" = 20'-0"	3.

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9

> 39-08 JANET PLACE FLUSHING, NY 11354

THE UNITED GROUP
112-15 NORTHERN BLVD, #2
CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C.

12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

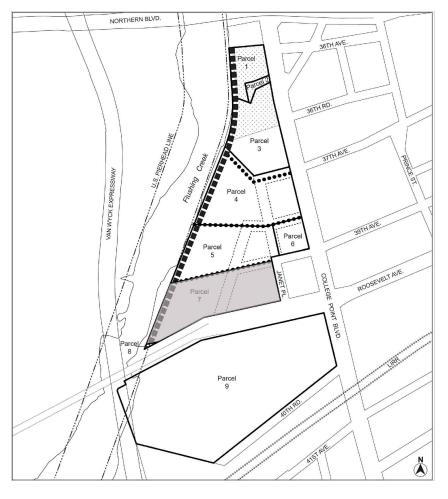
NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

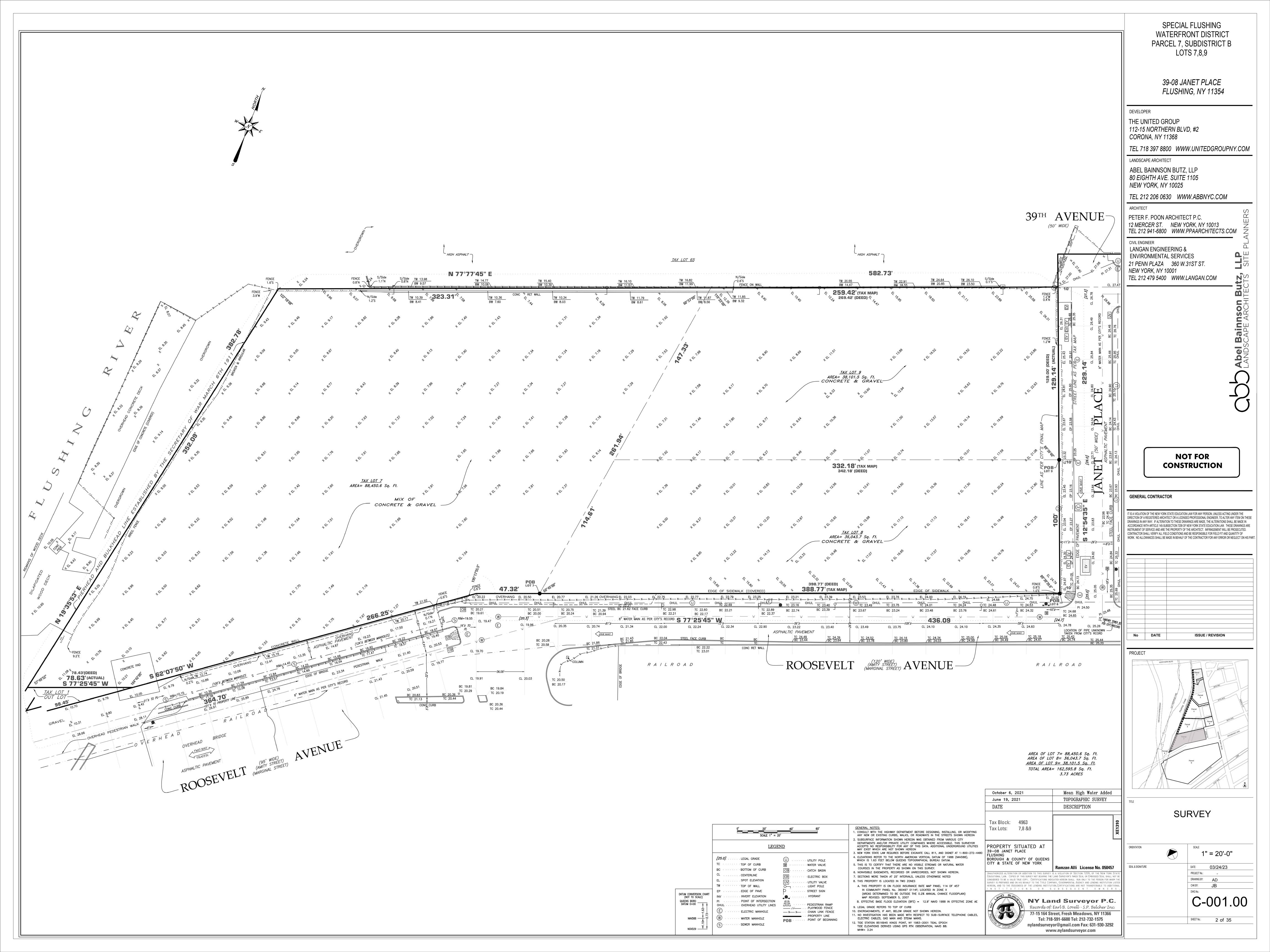
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF

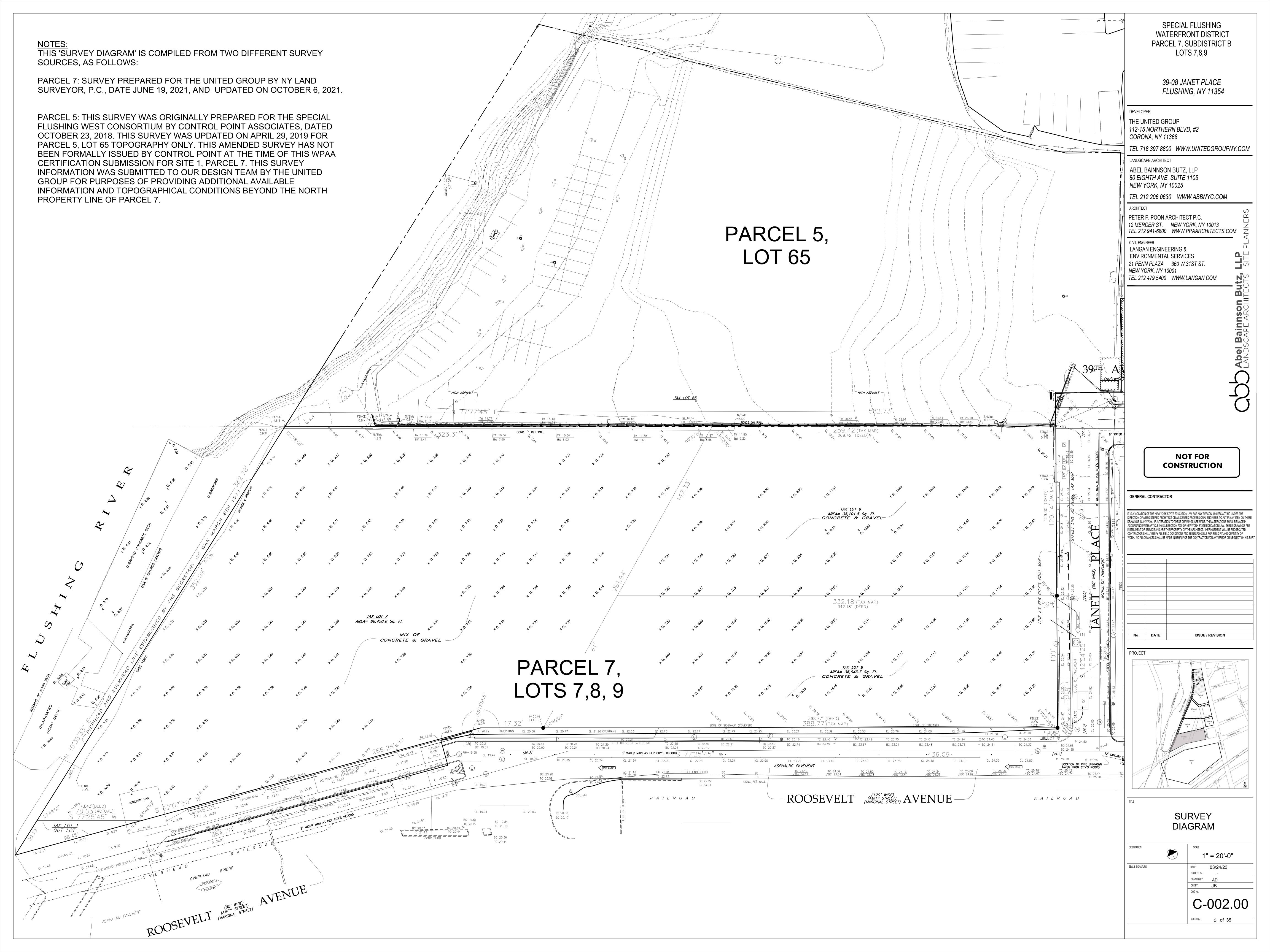
No DATE ISSUE / REVISION

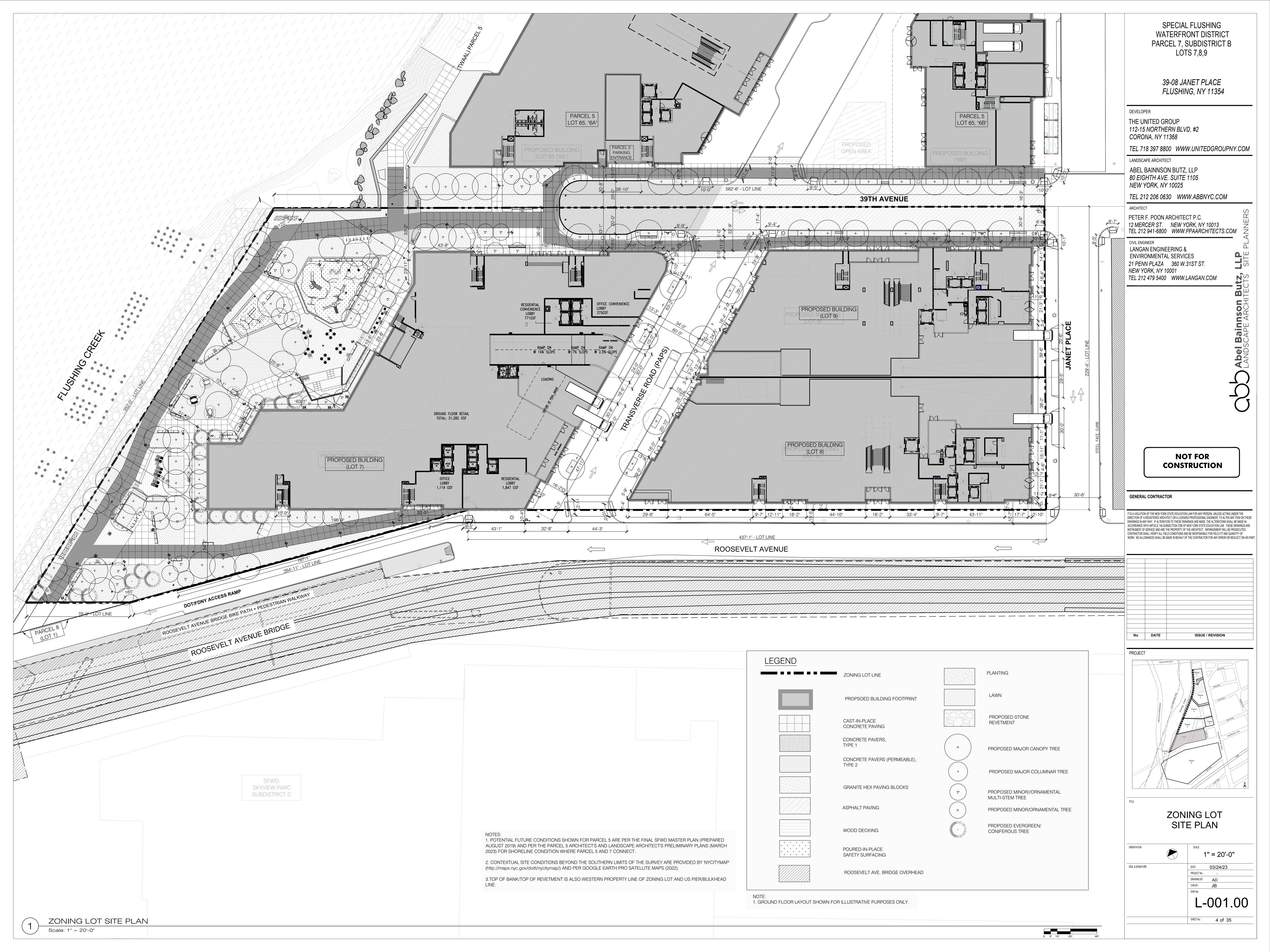
PROJEC⁻

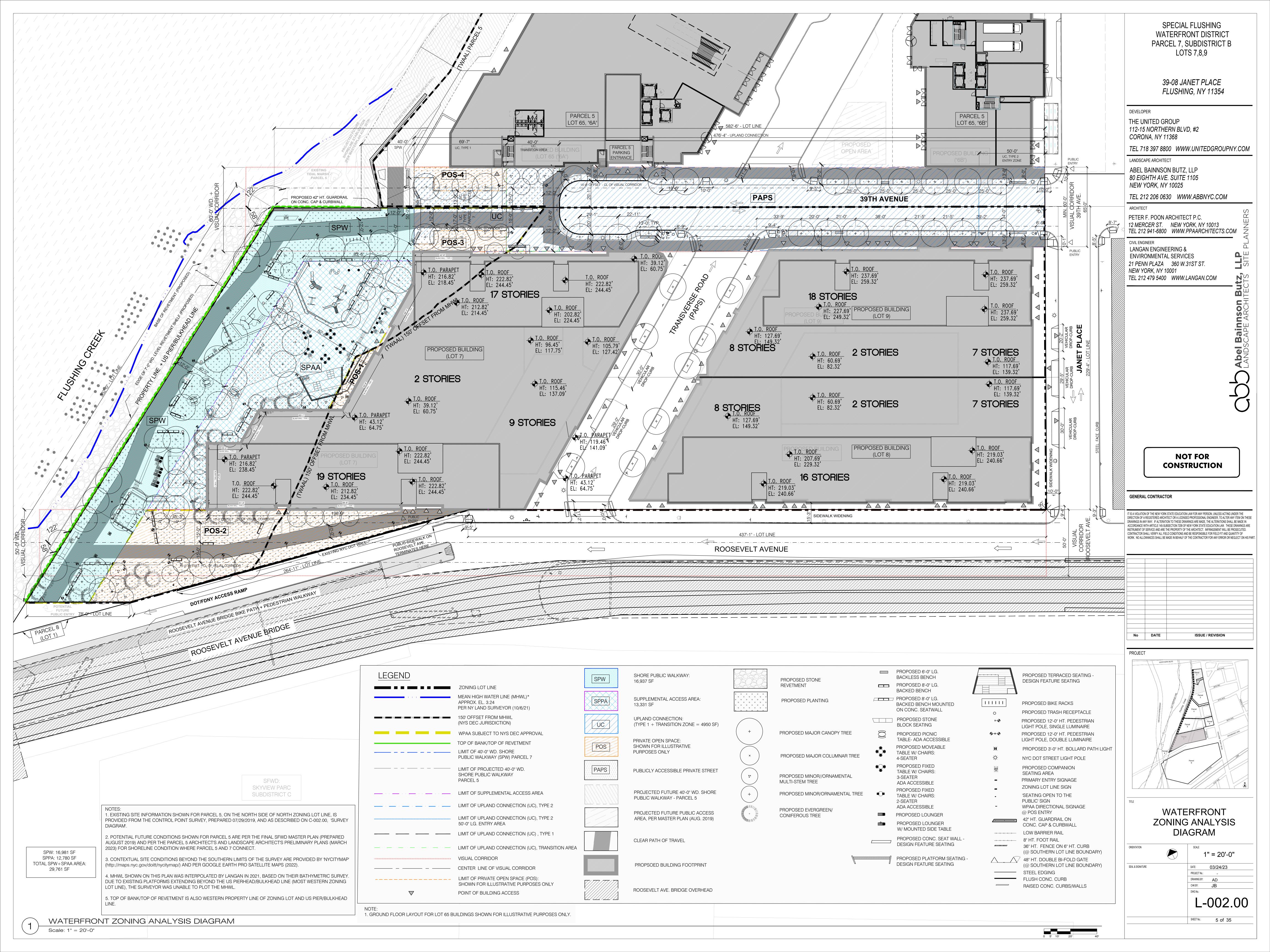


COVER SHEET & DRAWING LIST









ZONING LOT WATERFRONT AREA	REC BY	QUIRED ZR	PROVIDED
Total Lot Area 162,5	95 SF		
40'-0" Wd. SPW	16,7	769 SF	16,981 SF
SPAA	7,62	20.3 SF	12,780 SF
Total WPAA (Min. 15% Total Lot Area Req'd)	24,3	389.3 SF	29,761 SF (18.3% Total Lot Area)
PROJECT DESCRIPTION:	•		
PROJECT NUMBER: ID 2020Q0363			

PROJECT NAME: JANET PLACE DEVELOPMENT ADDRESS: 39-08 JANET PLACE, QUEENS, NY 11354/131-01 to 131-39 ROOSEVELT AVENUE, Queens, NY 11354 **TAX BLOCK: 4963**

LOTS: 7, 8, 9 **TOTAL LOT AREA: 162,595 SF ZONING MAP: # 10b**

ZONING DISTRICT: SPECIAL FLUSHING WATERFRONT DISTRICT REZONING, Waterfront Subdistrict B

ZONING SUB-AREA: B3 PARCEL: 7 **COMMUNITY BOARD: 7 COUNCIL DISTRICT: 20** POLICE PRECINCT: 109th

SFWD: Waterfront Cert. "Site 1"/Parcel 7: 2020Q0363

ZONING SECTION NOTES: ZONING REQUIREMENTS IN THE COMPLIANCE TABLES ON SHEETS L-003 - L-006 ARE PREPARED BASED ON THE FOLLOWING SOURCES:

A) ARTICLE VI, CHAPTER 2, ZONING RESOLUTION FOR SPECIAL REGULATIONS APPLYING IN THE WATERFRONT AREA, INCLUDING AMENDMENTS ISSUED 03/22/22.

B) ARTICLE XII, CHAPTER 7, SPECIAL PURPOSE DISTRICTS, ZONING RESOLUTION FOR THE SPECIAL FLUSHING WATERFRONT DISTRICT (FW), INCLUDING AMENDMENTS ISSUED 03/22/22 (PER SECTION 62-13 APPLICABILITY OF DISTRICT REGULATIONS) AND PLANS AS SET FORTH IN

SECTION 127-50 (FLUSHING WATERFRONT ACCESS PLAN).

PRIMARY CHECKLIST: SPW/SPAA AMENITIES PROVIDED

SOCIAL SEATING (LF) IN SPW/SPAA 400 LF

CANOPY TREES (EA) IN SPW/SPAA 38

SHORE PUBLIC WALKWAY

UPLAND CONNECTION

PRIVATE OPEN SPACE

MEAN HIGH WATER LINE

VISUAL CORRIDOR

SUPPLEMENTAL ACCESS AREA

WATERFRONT PUBLIC ACCESS AREA

PUBLICLY ACCESSIBLE PRIVATE STREET

TIDAL WETLAND ADJACENT AREA LIMIT LINE

SEATING TOTAL (LF) IN SPW/SPAA

SEATING W/ BACK (LF) SPW/SPAA

TABLES IN SPW/SPAA

SPAA

SHADED SEATING SPW/SPAA

PLANTING (SF) IN SPW/SPAA

29,761 SF

422 LF

252 LF

12,358 SF

SPECIAL FLUSHING WATERFRONT DISTRICT (SFWD) ZONING RESOLUTION

ZONING SECTION	<u>ITEM</u>	REQUIRED/PERMITTED BY ZONING RESOLUTION	PROPOSED PER ZONING RESOLUTION	**PERMITTED/PROPOSED WITHIN DEC JURISDICTION AREA	COMPLIANCE	DRAWING REFERENCE
62-50	GENERAL REQUIREMENTS OF V	ISUAL CORRIDORS AND WPAA'S				
62-51	APPLICABILIY FOR VISUAL COR	<u> </u>	Τ			Ι
	Applicability Provisions	Applicability Proivsions for Visual Connections shall apply per Sections 62-51, 62-52, 127-51, and 127-52.	N/A	The Visual Corridors proposed for this project on 39th Ave. and Roosevelt Ave. comply with these sections, as applicable.	Complies	See Sheet L-002.0
127-51		SUAL CORRIDORS AND WATERFRONT PUBLIC ACCE	· · · ·			I
127-51 (b) 127-52	Visual Corridor Clear Path of Circulation SPECIAL REQUIREMENTS FOR V	Within such a WPAA, a circulation path shall be provided with a min. clear width of 10'-0" and shall connect with either an adjoining SPW or additional circulations paths on adjoining zoning lots.	N/A	A 10'-0" clear path has been provided within the WPAA's Visual Corridor along Roosevelt Ave. connecting to the SPW. Dimensions of clear circulation path along 39th Ave. pertain to Upland Connection requirements, per this corridor's SFWD designation.	Complies	See Sheet L-002.0
127-32	Visual Corridor Locations for Parcel 7	Visual Corridors for Parcel 7 shall be located per locations designations on Map 5 in the Appendix of the Special Flushing Waterfront District Plan, and shall be pursuant to requirements in Sections 62-51 and 62-65.	N/A	Visual Corridors for Parcel 7 are provided per locations designated on Map 5 in the Appendix of the Special Flushing Waterfront District Plan and are in compliance with Sections 62-51 and 62-65.	Complies	See Sheet L-002.
62-511 62-511 (a)	Visual Corridor Methodology	Mapped street line to extend seaward from the first upland street shall be prolonged as a visual corridor through all intevening zoning lots to the water if prolonged street would intersect the shoreline an a 45° or more angle and if there are no existing obstructions blocking 50% or more of the width of the visual corridor that would	N/A	The Visual Corridors proposed for 39th Ave. and Roosevelt Ave. are based on prolongations of the mapped street lines that intersect with the shoreline at a 45° or more angle. There are no obstructions blocking 50% or more of the width of either Visual Corridor in the final build out.	Complies	See Sheet L-0021
62-511 (b)	Visual Corridor Per Waterfront Access Plan	result. The Visual Corridors for Parcel 7 are locations designated on Map 5 in the Appendix of the Special Flushing Waterfront District Plan.	N/A	Visual Corridors for Parcel 7 are provided per locations designated on Map 5 in the Appendix of the Special Flushing Waterfront District Plan.	Complies	See Sheet L-002.0
62-511 (c)(4)	Visual Corridor - Existing Infrastructure Within Street Prolongation	No existing street, or its prolongation shall be considered currently blocked due to the presence of elevated roadways, elevated railways, or pedestrian or vehicular bridges existing on October 25, 1993.	N/A	The existing Roosevelt Ave. Bridge and its associated vehicular on-ramps and pedestrian/bike access ramps are not considered blockages within the Roosevelt Ave. Visual Corridor.	Complies	See Sheet L-002.0
62-512	DIMENSIONS OF VISUAL CORR Dimensions of Visual Corridors	IDORS The width of a visual corridor shall be determined by the width of the street of which	N/A	Visual Corridors for 39th Ave. and Roosevelt Ave. are a min. 50'-0" wd.	Complies	See Sheet L-002.
		it is the prolongation, but in no event, less than 50'-0" wide. Visual corridors that are not the prolongations of streets shall be at least 50'-0" wide. The level of the Visual Corridor shall be		On 39th Avenue, the Visual Corridor has been		
	Determinations of Level of Visual Corridor on Mapped Street Prolongations	established by a plane connecting the two points along the street lines from which the VC emanates at an elevation 5'-0" above curb elevation with the two points where the prolonged street lines intersect the shoreline, stabilized natural shore, bulkhead, or upland edge of a waterfront yard, or the base plan of a	N/A	established as a prolongation of a mapped street with the plane per zoning requirements that terminates at stabilized edge of the shoreline.	Complies	See Sheet L-002
	Determinations of Level of Visual Corridor - Not Mapped Street Prolongations	pier, or platform, whichever intersection occurs first. The level of the Visual Corridor shall be established by a plane connecting the two points along the lot line from which the VC emanates at an elevation 5'-0" above curb elevation with the two points of intersection at the shoreline, stabilized natural shore, bulkhead, or upland edge of a waterfront yard, or the base plan of a pier, or platform, whichever		On Roosevelt Avenue, the Visual Corridor is not a prolongation of a mapped street, and has an established plane per zoning requirements that terminates in the stabilized edge of the shoreline.	Complies	See Sheet L-002.
	No Obstructions Permitted Within Visual Corridor	intersection occurs first. No obstructions are permitted within a Visual Corridor except as set forth in Sections 62-513 and 62-60.	N/A	There are no obstructions located within the Visual Corridors except for those permitted as set forth in Sections 62-513 and 62-60.	Complies	See Sheet L-002.
62-513 62-513	PERMITTED OBSTRUCTIONS IN Permitted Obstructions in Visual Corridors	VISUAL CORRIDORS No building or other structure shall be erected within the width of a Visual Corridor above its lowest level, as established pursuant to Section 62-512.	N/A	No buildings or other structure shall be erected within the width of the Visual Corridor.	Complies	See Sheet L-002
62-513(a)	Shade Trees	No shade trees shall be planted within 15'-0" of the centerline of a Visual Corridor.	N/A	There are no shade trees proposed within 15'-0" of centerline of the Visual Corridors.	Complies	See Sheets L-002.00 + L-400
62-513(3)	Street Furniture	Street furniture shall be permitted, including but	N/A	Street furniture per site amenities requirements are	Complies	See Sheets
62-53	REQUIREMENTS FOR SHORE PL	not limited to, carts and open display booths. JBLIC WALKWAYS (SPW)		provided for and permitted.		L-002.00 + L-500
62-53(a)	Shore Public Walkway (SPW)	All waterfront zoning lots meeting the criteria set forth in Section 62-52 shall provide a shore public walkway.	N/A	SPW is provided.	Complies	See Sheet L-002
62-53(a)(1)	SPW Contiguous Edge	Such SPW shall have a seaward edge contiguous with the seaward edge of the waterfront yard.	N/A	SPW is provided along the seaward edge of the waterfront yard.	Complies	See Sheet L-002
62-53(a)(2)	SPW Width	The minimum width for a SPW provided for a zoning lot developed with any use, in all other districts other than R1 and R2 districts, shall be 40'-0" wd.	N/A	SPW has a minimum width of 40'-0".	Complies	See Sheet L-002
52-53(b)(1)	SPW Location Within A NYS-Designated Wetland	Such SPW shall be permitted to be relocated further landward within the designated wetlands or its adjacent regulated area in accordance with an approval from the NYS DEC, in which case its width and design shall be determined by such agency.	N/A	The SPW, SPAA, UC Type 1 and a portion of the Transition Area west of the TWAA line are per the jurisdiction of the New York State Department of Environmental Conservation, pursuant to ZR Section 62-53(b)(1).	Complies	See Sheet L-002
62-53(c)	SPW Access Connection	SPW's shall be accessible from a public sidewalk within a street, public park or other accessible open public place. SPW's shall connect with SPW's on adjoining zoning lots.	N/A	On the north, the SPW connects with an Upland Connection, and is accessible from a public sidewalk. On the south, the SPW is accessible from a Private Open Space (POS-2) and public sidewalk along Roosevelt Ave.	Complies	See Sheet L-002
62-56 62-56	REQUIREMENTS FOR UPLAND (Location of Upland Connections	CONNECTIONS All public access areas shall be accessible from an open street, public park, or other public place at intervals along the SPW, not to exceed 600'-0".	N/A	All waterfront public access areas are accessible every 600'-0" or less.	Complies	See Sheet L-002
62-561 62-561 (a)(1)	TYPES OF UPLAND CONNECTIO Single Pedestrian Walkway (Type 1)	The minimum width of an Upland Connection, Type 1, shall be 30'-0" wide. Such widths shall be increased by 20'-0" within 15'-0" of a street, public park, or other public space, as "entry area."	N/A	The UC Type 1 is min. 30'-0" wide with width increased by 20'-0" within 15'-0" of Shore Public Walkway as "entry area" to the SPW at Parcels 7 + 5 in final build out.	Complies	See Sheet L-002
62-561 (b)(1)	Two Pedestrian Walkways (Type 2)	The minimum width of an Upland Connection, Type 2, shall be 13'-0" for each such walkway. However, where a private driveway terminates in a vehicular turnaround, the minimum width of the Upland Connection abutting such	The widths of the sidewalks of the Upland Connection, Type 2, are a min. of 13'-0" wide.	N/A	Complies	See Sheet L-002

ZONING SECTION	TYPES OF UPLAND CONNECTION	REQUIRED/PERMITTED BY ZONING RESOLUTION	PROPOSED PER ZONING RESOLUTION	**PERMITTED/PROPOSED WITHIN DEC JURISDICTION AREA	COMPLIANCE	DRAWING REFERENCE
62-561 62-56 (b)(2)	TYPES OF UPLAND CONNECTION Transition Area	The Transition Area shall be provided which	N/A	The Transition Area is provided and has a width equal to	Complies	See Sheet L-002.00
62-57	(Type 2)	shall have a width equal to the combined width of the Type 2 Upland Connection and the roadbed, and shall extend for a distance of 40'-0" measured from the termination of such roadbed in the direction of the SPW.		the combined path and the roadway bed, and extends for a distance of 40'-0" measured from termination of roadbed.		
62-57 (a)		If the aggregate area of the required SPWs and Upland Connections on the zoning lot, is less by 750 SF than the amount of the WPAA required by the table in this Section (15% of total lot size), then the SPAA shall be provided in order to meet		A SPAA of 12,780 SF has been provided.	Complies	See Sheet L-002.00
62-57 (b)	SPAA Within NYS-Designated Wetlands or Adjacent State-Regulated Areas	the total amount of WPAA required by the table. Where SPAAs are required within NYS-designated wetlands or adjacent State-regulated areas, the area requirements and the design standards for such SPAAs may be reduced or modified by the NYS DEC.	N/A	The SPW, SPAA, UC Type 1 and a portion of the Transition Area west of the TWAA line are per the jurisdiction of the New York State Department of Environmental Conservation, pursuant to ZR Section 62-53(b)(1).	Complies	See Sheet L-002.00
62-571 62-571(a)(2)	SPAA Minimum Area + SPAA Width to Depth Ratio	The minimum area of SPAA when located adjoining a SPW without adjoining a UC or street, shall be 1875 SF. For this type of SPAA, a minimum width to depth ratio shall be a of 3:1. Width to depth ratio may be satisfied as weighted average dimensions. Min. depth perpendicular to the shoreline shall be 25'-0".	N/A	A SPAA of 12,780 SF (> 1875 SF) has been provided. SPAA width to depth ratio is roughly 3.6: 1. Length: 222' lg. Depth of SPAA varies: 38'-6" (south boundary) 83'-6" (north boundary) Weighted average = 61'-0"	Complies	See Sheet L-002.00 See Sheet L-002.00
	SPAA Longest Side SPAA Boundary Lines, Min. Angle	The longest side of the SPAA shall adjoin the SPW. Min. angle between the two boundary lines of a SPAA coinciding with private portion of the zoning lot shall be 90 degrees.	N/A N/A	The longest side of the SPAA adjoins to SPW. Where the SPAA meets the private portion of the zoning lot, min. angle is 90°.	Complies	See Sheet L-002.00
62-61 62-61(a)	GENERAL PROVISIONS APPLYIN Obstructions	G TO WATERFRONT PUBLIC ACCESS AREA (WPAA) The WPAA shall be unobstructed from their lowest level to the sky, except as set forth in Section 62-611 (Permitted Obstructions).	N/A N/A	WPAA is unobstructed from its lowest level to the sky except as set forth in Section 62-611(a)(1).	Complies	See All Sheets.
62-61(b)	Circulation Path Connection	The minimum required circulation path shall be connected and continuous throughout the WPAA on adjacent zoning lots.	N/A	The required circulation path is connected and continuous throughout the WPAA on adjacent zoning lots.	Complies	See Sheets L-002, L-100 .00 - 300.00
62-61(c)	Accessbility	WPAA shall be accessible to persons with physical disabilities in accordance with the ADA and the ANSI design guidelines.	N/A	WPAA is accessible to persons with physical disabilities in accordance with the ADA and the ANSI design guidelines. Companion seating is provided at intervals throughout the WPAA.	Complies	See Sheets L-002, L-100 .00 - 300.00
62-61(d)(1)(i)	Cross-Sectional Grading	For cross-sectional grading regulations, the minimum slope of a required circulation path shall be 1.5%-3% slope. Steps/stairways are not permitted to accomodate cross-sectional grade changes within the required circulation paths.	N/A	Cross-sectional grading of required circulation paths ranges between 1.5%-3%. No steps/stairways are provided within main paths of circulation.	Complies	See Sheet L-300.00
62-61(d)(1)(ii)	Longitudinal Grading Controls	For longitudinal grading controls, grade changes shall be permitted along the length of a required circulation path by means of steps or ramps in compliance with the requirements for		No stairs or ramps are proposed along the circulation path within the SPW.	Complies	See Sheet L-300.00
62-61(d)(2)	Grade Change	handicapped accessibility. Within 3'-0" of the edge of any planting area, the grade level of such planting area shall be no more than 3'-0" higher or lower than the adjoining level of the pedestrian circulation path. This Section corresponds with Section	N/A	Along the pedestrian circulation path, planted areas with edges do not exceed 3'-0" ht.	Complies	See Sheet L-300.00
62-61(e)	Vehicle and Emergency Access	127-531 (c). Vehicular access is prohibited within the WPAA except for emergency and maintenance vehicular access.	N/A	Vehicular access is not provided within the WPAA except for emergency and maintenance vehicular access.	Complies	See Sheets L-100.00 L-300.00
62-611(a)	Permitted obstructions in all areas except for the required paths, include:	 (1) Trees and other plant materials, including grasses, vines, shrubs and flowers, watering equipment, arbors, trellises, observation decks, retaining walls. (2) Seating, litter receptacles, drinking fountains, other outdoor furniture; (3) Fountains, reflecting pools, waterfalls, sculptures and other works of art, temporary exhibitions; (4) Guardrails, bollards, gates and other protective barriers, in accordance with Section 62-651; (5) Lights and lighting stanchions, flag poles, exercise and other recreational equipment; (6) Kiosks and open air cafes; 7) Structural landscaped berm, and associated flood gates; 8) Temporary and permanent flood control 	N/A	Only permitted obstructions are proposed within the WPAA.	Complies	See Sheets L-200.00 + L500.00
62-611(b)	Service equipment/devices as permitted obstructions	devices. Service equipment necessary for maintenance such as irrigation, electrical, or mechanical devices are permissible but must not exceed 100 SF or 10' in ht. and must be screened in	N/A	Any irrigation, electrical, or mechanical equipment or devices required to operate the WPAA will meet the dimensional requirements and will be screened per Section 62-655.	Complies	See Sheet L-200.00
62-611(c)	Permitted obstructions beyond 20'-0" of the shoreline, include:	accordance with Section 62-655. Tot-lots, playgrounds, dog runs, public telephones, toilets, bicycle racks.	N/A	Proposed playground is 42'-11" from the shoreline. Proposed bicycle racks on south side of SPW are 36' min. from the shoreline. Proposed bicycle racks on north side of SPW are 20'-11" min. from shoreline.	Complies	See Sheet L-100.00
62-62 62-62(a)(1)	SPW Circulation And Access - Primary Path Width	HORE PUBLIC WALKWAYS (SPW'S) AND SUPPLEME SPW shall provide a circulation path with a minimum clear width of 12'-0".	N/A	A 12'-0" wd. min clear path is provided through the SPW.	Complies	See Sheet L-100.00
	SPW Circulation And Access- Primary Path Location	Such path shall be located within 10'-0" of the shoreline for at least 20% of the length of such shoreline, and the remainder of the path may be	N/A	Total length of shoreline is 430 LF. More than 20% of path is located within 10'-0" of shoreline.	Complies	See Sheet L-002.00
	SPW Circulation And Access - Secondary Path Location	Iocated anywhere within the SPW and SPAA. A secondary path of min. 6'-0" may be provided. When provided, it should be parallel to the main path at intervals no greater than 200'-0".	1 7	Secondary paths of 6'-0" wd. minimum are provided and connect the SPW to the SPAA at various intervals no greater than 200'-0". Secondary path are typically 8'-0" wd.	Complies	See Sheet L-100.00
127-531 127-531 (a) (1)	SHORE PUBLIC WALKWAYS (FO	Section 62-62 (Design Requirements for SPW's and SPAA's) shall be modified such that SPW shall be provided at a 5'-6" min. elevation above the shoreline. This requirement does not include portions of circulation path that must slope down to meet the elevation of an existing		Existing shoreline MHWL Elevation is El. 3.3 Elevations along the SPW range from El. 11.25 - El. 17.00. On the southern end of zoning lot, SPW elevations must meet existing site grades at Lot 1, Parcel 8. Elevations here are established at El. 11.57 - El. 12.00.	Complies	See Sheet L-300.00, L-700.00 + L701.00
127-531 (a) (3)	SPW Circulation And Access - Primary Path Termination	publicly accessible sidewalk. Section 62-62 (Design Requirements for SPW's and SPAA's) shall be modified such that where a SPW is on a zoning lot that is adjacent to a zoning lot without a SPW, the portion of the circulation path that terminates at the common zoning lot line shall be located within 40'-0" of the shoreline.	N/A	The SPW terminates within 30'-0" of the shoreline on both the north and south where future SPW connections are anticipated.	Complies	See Sheet L-100.00
62-62 62-62(a)(2)	DESIGN REQUIREMENTS FOR SI SPAA Circulation And Access	HORE PUBLIC WALKWAYS (SPW'S) AND SUPPLEME A SPAA shall provide at least one circulation path with a minimum clear width of 6'-0" that	ENTAL ACCESS AREAS (SPAA'S) N/A	Paths throughout the SPAA, and all Secondary Paths are a min. of 6'-0" wd. and are typically 8'-0" wd. or >.	Complies	See Sheet L-100.00
62-62(b)	Seating	provides access throughout the SPAA. (1) LF of seating shall be provided for every 75 SF of SPW and SPAA. Such seating may be located anywhere within such public access areas and shall comply with the standards of Section 62-652. In addition, up to 25% of required seating may be located seaward of the SPW and shall be subject to the provisions of Section 62-652, paragraph (b)	IN/A	422 LF of seating is provided within the SPW + SPAA. 275.17 LF of seating provided in SPW. 146.83 LF of seating provided in SPAA. Only the stone block seating is located seaward of the SPW, totaling 67.50 LF or 17%.	Complies	See Sheets L-500.00 + L-501.00
62-62(c)(1)	Planting Areas	62-652, paragraph (h). Total Required Area of SPW+SPAA = 29,761 SF/75 = 396 LF required. An area equal to at least 35% of the area of the SPW and SPAA shall be planted. 29,761 SF = 10,411 SF (35%) min. required.	N/A	SPW+SPPA: 12,358 SF (or 41.5%) of planting is provided. SPW: 6230 SF of planting provided SPPA: 6128 SF of planting provided.	Complies	See Sheet L-400.00
62-62(c)(1)(i)		Where a SPAA is greater than 1,875 SF, a min. 15% of the required planting area of the SPW and SPAA, combined, shall be provided as lawn. Total required planting (35% of 29,761 SF = 10,416) X .15 (min. required lawn area) = 1,562 SF.	N/A	3,406 SF of lawn is provided within SPW and SPAA total. (1,428) SF of lawn within the SPW. (1,978) SF of lawn within the SPAA.	Complies	See Sheet L-400.00

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B

> 39-08 JANET PLACE FLUSHING, NY 11354

DEVELOPER THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

LANDSCAPE ARCHITECT ABEL BAINNSON BUTZ, LLP

80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM ARCHITECT

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM CIVIL ENGINEER LANGAN ENGINEERING & ENVIRONMENTAL SERVICES

21 PENN PLAZA 360 W.31ST ST. NEW YORK, NY 10001 TEL 212 479 5400 WWW.LANGAN.COM

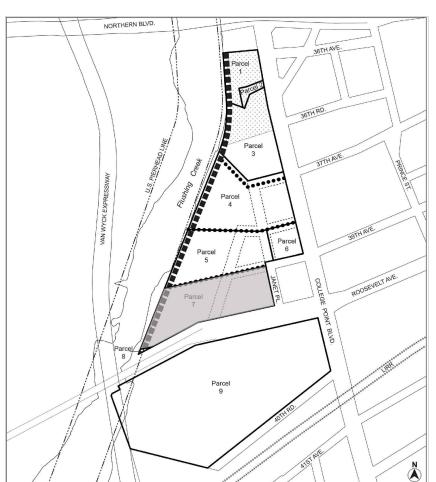
> **NOT FOR CONSTRUCTION**

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF

WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

ISSUE / REVISION



WPAA **ZONING ANALYSIS** TABLE I

SHEET No.: 6 of 35

PROJECT No.:

ZONING SECTION	<u>ITEM</u>	REQUIRED/PERMITTED BY ZONING RESOLUTION	PROPOSED PER ZONING RESOLUTION	**PERMITTED/PROPOSED WITHIN DEC JURISDICTION AREA	COMPLIANCE	DRAWING REFERENCE
62-62 62-62(c)(2)(i)	DESIGN REQUIREMENTS FOR SE Screening Buffer	A screening buffer shall be provided within the SPW or the SPAA, running along the entire upland boundary of such area where it abuts non-publicly accessible areas of the zoning lot, except as waived pursuant to Section 62-62(c)(2)(iii). Any screening buffer provided pursuant to this Section many be used to meet the planting requirements of Section 62-62(c) (1).	NTAL ACCESS AREAS (SPAA'S) (CONTINUE	A minimum 4'-0" planting buffer has been provided along the upland boundary of the SPPA where it meets the western face of the building.	Complies	See Sheets L-100.00 + L-400.00
127-531 (b)	Shore Public Walkways: Screening Buffer	In lieu of Section 62-62 (c)(2)(ii) + (iii), the minimum width of the screening buffer shall be 4'-0". No screening buffer shall be required where a pathway connecting a required circulation path towards a publicly accessible sidewalk or entry to a commercial or community	N/A	All planting areas adjacent to west and south facing building facades are min. 4'-0" dp. Screening buffer is not required between Private Open Space (POS-2) and publicly accessible sidewalk along Roosevelt Ave. or western face of building.	Complies	See Sheets L-100.00 + L-400.00
62-62(c)(3)(i)	Canopy Trees	facility. A minimum of one canopy tree shall be provided for every 2,000 SF of SPW and SPAA. In no event may a SPW have less than two canopy trees for every 100'-0" of shoreline.	N/A	(21) canopy trees provided within the SPW. (17) canopy tree provided within the SPAA. (38) canopy trees provided with the SPW and SPAA total.	Complies	See Sheets L-400.00 + L-401.00
62-62(c)(3)(ii)	Additional Planting	Total Area of SPW+ SPPA = 29,761 SF/2000 = 14.88 For every 1,250 SF of SPW and SPAA, (1) of the following must be provided: a canopy tree, an ornamental tree or a multi-stemmed equivalent; 60 SF of planting beds; or 110 SF of accessible lawn. Trees and additional planting areas may be located anywhere within the SPW or SPAA.	N/A	SPW has (2) or more canopy trees per every 100 LF of shoreline. SPW + SPPA Required Lawn area: 1562 SF. 3406 SF of total lawn area provided. 1345 SF of lawn area provided is accessible. The min. additional 110 SF of accessible lawn has been provided. Additionally: (11) Evergreen/coniferous trees have been provided. (14) Multi-stemmed/ornamental minor tree have been provided.	Complies	See Sheets L-400.00 + L-401.00
62-62(c)(4)(ii)	Reduction in Minimum Required Planting Area	In no event shall the reduced planting area be less than 25% of the combined area of the SPW and SPAA.	N/A	SPW+ SPPA provides (23) additional canopy trees than required. There are no site uses that require a reduction in required planting area. 12,358 SF of planting provided in the SPW+SPPA = 40.5%	Complies	See Sheets L-400.00 + L-401.00
62-62(d)	Bicycle Parking	Bicycle parking spaces required: (4) spaces and, if the combined area of the SPW and SPAA is greater than 8,000 SF, (2) additional bicycle spaces per every additional 2,000 SF is required.		SPW: (13) bicycle racks provided. Each proposed rack has the capacity for (2) bikes for (26) bike parking spaces total.	Complies	See Sheets L-500.00 + L-501.00
62-62(d)	Bicycle Rack Location	29,761 SF - 8000 SF = 21761/2000 = 10.8 X 2 = 21.6 + 4 min. req'd spaces = 26 spaces total. Bicycle racks shall be adjacent to a circulation path and at least 20'-0" from the shoreline. Bicycle racks may be located in the public sidewalks adjacent to the zoning lot.	N/A	Bicycle racks are located more than 20'-0" from the shoreline and within the SPW, and adjacent to a circulation path.	Complies	See Sheet L-500.00
62-62(e)	Trash Receptacles	(1) Trash receptacles shall be provided for every 4,000 SF of SPW and SPAA. Total Area of SPW =29,761 SF/4000 = 7.4	N/A	SPW: (5) trash receptacles provided. SPPA: (3) trash receptacles provided. Total SPW + SPPA: (8) trash receptacles provided.	Complies	See Sheet L-500.00
62-64 62-64(a)(1)	DESIGN REQUIREMENTS FOR UP Type 1 UC: Circulation and Access	PLAND CONNECTIONS For Type 1 UC, there shall be at least one circulation path linking an open street, public park or other public place with a SPW. Such path shall have a minimum clear width of 12'-0". Any secondary paths shall have a minimum	N/A	Type 1 UC has path with clear width of min. 12'-0".	Complies	See Sheet L-002.00
62-64(a)(2)	Type 2 UC: Circulation and Access	clear width of 6'-0". For Type 2 UC, each pedestrian walkway shall have a circulation path with a minimum clear width of 8'-0" linking an open street, public park or other public place with a SPW.	Type 2 UC walkways have a clear width of min. 8'-0".	N/A	Complies	See Sheet L-002.00
62-64(a)(3)	Type 2 UC: Circulation and Access - Transition Area	For UC Transition Areas, a circulation path with a width of at least 12'-0" shall connect each circulation path of the Type 2 UC with a circulation path of a SPW, SPAA, or Type 1 UC, whichever is applicable.	a width of at least 12'-0" shall connect each circulation path of the Type 2 UC with the Type 1 UC. Circulation path of a SPW, SPAA, or Type 1 UC,		Complies	See Sheet L-002.00
62-64(b)(1)	Type 1 UC: Paving	For Type 1 UC, at least 40% but not more than 65%, of the entry area shall be paved. Such paving shall include a 5'-0" wide area along at least 70% of the frontage adjoining a public sidewalk.	N/A	Total area of Type 1 UC is 2387 SF Paved Area = 1082 SF (45%)	Complies	See Sheet L-002.00
62-64(b)(2)		Where any UC is interrupted by a private driveway, the full width of the required UC shall traverse the roadbed without a drop in level, and be paved with materials distinct from the roadbed. Such portion of the UC shall not count towards fulfulling a minimum required amount of WPAA.	The vehicular turnaround (cul-de-sac) in the UC, Type 2 is graded flush with the adjoining transition zone and sidewalks, including continuous tree pits and circulation paths. The turnaround is paved with concrete pavers, distinct from remainder of roadbed which is paved in asphalt.	N/A	Complies	See Sheets L-002.00, L-100.00 + L-800.00
62-64(b)(2)	Type 2 UC: Vehicular Turnaround Raised Roadbed	The roadbed between both circulation paths, within which lines perpendicular to the UC traversing the roadbed can be drawn or the portion of the roadbed within a vehicular turnaround, shall be raised to be flush with the level of such adjoining UC.	The vehicular turnaround (cul-de-sac) in the UC, Type 2 is graded flush with the adjoining transition zone and sidewalks, including continuous tree pits and circulation paths. The turnaround is paved with concrete pavers, distinct from remainder of	N/A	Complies	See Sheets L-002.00, L-100.00 + L-800.00
62-64(b)(3)	Type 2 UC: Vehicular Turnaround Paving Material	The roadbed paving material of a private driveway leading to a vehicular turnaround may be extended into the turnaround, provided the area of the turnaround paved with such material is not wider than the roadbed leading to the turnaround. The remaining portions of the turnaround shall be paved with distinct materials to facilitate pedestrian usage. In addition, the level of the area within the turnaround shall be raised to be flush with the level of adjoining circulation paths.	roadbed which is paved in asphalt. The vehicular turnaround (cul-de-sac) in the UC, Type 2 is graded flush with the adjoining Transition Area and sidewalks, including continuous tree pits and circulation paths. The turnaround is paved with concrete pavers, distinct from remainder of roadbed which is paved in asphalt.	N/A	Complies	See Sheets L-002.00, L-100.00 + L-800.00
62-64(c)(1)	Type 1 UC: Planting Percentages	For Type 1 UC's, at least 40% of the area of the UC shall be planted in accordance with the provisions set forth in Section 62-655.	N/A	Type 1 UC is 2387 SF. Planted Area =1305 SF (54%).	Complies	See Sheets L-002.00, L-100.00 + L-400.00
62-64(c)(1)(i)	Type 1 UC: Planting Caliper Requirements	Where such UC's do not abut open parking lots or private driveways, (6) caliper inches of ornamental trees or their equivalent in multi-stemmed plants shall be required for every 100 LF of UC. (2) major canopy trees (specified at 3" cal. inches each at installation) are proposed in the UC, Type 1, totaling a min. of 6 cal. inches. In addition (5) ornamental/minor trees at 2" cal. inches each are located in the Transition Area. And, woody, multi-stemmed large shrubs are proposed within the UC,		Complies	See Sheets L-002.00, L-400.00, + L-401.00	
62-64(c)(1)(ii)	Upland Connection: Planting At Open Parking Lots	109.58 LF/ 100 = 1.09 X 6 cal. inches = 6.5 cal. inches. Where such UC's abut an open parking lot, screening shall be provided within the UC along the curb of such parking lot in accordance with	100 = 1.09 X 6 cal. inches = 6.5 cal. (POS-3 and POS-4) also include (5) additional canopy trees and (4) additional minor trees. The UC does not abut an open parking lot.		N/A	See Sheet L-002.00
62-64(c)(1)(iii)	Upland Connection: Continuous Tree Pit at Private Driveway	Section 37-921. Where such UC's abut a private driveway, a continuous tree pit shall meet the minimum planting requirements in Section 62-655 and shall be planted with (1) tree for every 25'-0" of private driveway frontage	A continuous tree pit wraps around the the vehicular turnaround (cul-de-sac) where the UC, Type 2 adjoins the Transition Area. Length of cul-de-sac varies: approximately 88'-0" lg. on Parcel 7. 88 LF/25 = 3.52. Parcel 7 and 5 include (3) street trees each located around the length of the cul-de-sac.		N/A	See Sheet L-002.00
62-64(c)(1)(iv)	Upland Connection: Planting Percentages When Not Coinciding W/ a Visual Corridor	Where such UC's do not coincide with a Visual Corridor, a min. of 30% of the required open area along the length of the UC shall be planted, per Section 62-513.	N/A	The UC does coincide with a Visual Corridor.	N/A	See Sheet L-002.00

ZONING SECTION	<u>ITEM</u>	REQUIRED/PERMITTED BY ZONING RESOLUTION	PROPOSED PER ZONING RESOLUTION	**PERMITTED/PROPOSED WITHIN DEC JURISDICTION AREA	COMPLIANCE	DRAWING REFERENCE
62-64 62-64(c)(2)		PLAND CONNECTIONS (CONTINUED) For Type 2 UC, a continuous tree pit shall be provided within the UC along the curb of the private driveway.	In the UC Type 2, a continuous tree pit is provided with trees located 25'-0" +/- O.C., and located to allow FDNY		Complies	See Sheets L-001.00 + L-400.00
		In addition, trees shall be planted with (1) tree for every 25'-0" of private driveway frontage. However, no continuous tree pit shall be	clearance to proposed doors (street tree locations have been reviewed by FDNY/DOT for approval).			
		required where an UC abuts a portion of a roadbed that is required to be raised pursuant to Section 64-64(b)(2) and (3) of this Section.	For Parcel 7 UC, Type 2, south side of 39th Avenue: Total private driveway frontage = 366.67 LF *Total length of excluded areas = 119 LF			
			Effective Length of private driveway frontage = 247.67 LF Number of trees required = 247.67/25 = 9.9 Trees required = 10			
			Trees provided = 10 *Excluded areas include the intersecting roadway (Transverse Road) and 30-ft min. required DOT offsets from intersections.			
			Based on Master Plan (Aug. 2019) and Conceptual Plan for Final Build Out (March 2023), Parcel 5 can accommodate (9) street trees on north side of 39th			
62-64(c)(2)	Type 2 UC: Continuous Tree Pits, Paving + Amenities	Portions of the Type 2 UC, continuous tree pit may be paved with permeable paving such as Belgian block or similar unit pavers in order to accommodate any required amenities, such as benches or bicycle racks, or other permitted	Ave, UC Type 2. The UC Type 2 continuous tree pits are paved with permeable pavers in a 4'-0" wide tree pit which also accommodates street light poles and benches.		Complies	See Sheets L-001.00 L-800.00, + L-807.00
62-64(c)(3)	Transition Area: Planting Percentages	obstructions. For Transition Areas in the UC, a minimum of 40% of such area shall be planted.	N/A	Total Area of UC Transition Area is (40'-0" x 63'-6"*) = 2540 SF X .40 = 1016 SF . Planted Area = 1057 SF (41.6%). * Note: Width of ROW is min. 60'-0" and varies from east to west.	Complies	See Sheets L-001.00 + L-400.00
62-64(c)(3)	Transition Area: Planting Caliper Requirements	For Transition Areas in the UC, a min. of (2) canopy trees or their equivalent in caliper inches of ornamental trees of multi-stemmed plants are required.	N/A	(5) multi-stem minor trees (specified at 2" cal. inches each at installation) are proposed in the UC, Transition Area, totaling 10 cal. inches. In addition, woody, multi-stemmed large shrubs are proposed within the UC, Transition Area.	Complies	See Sheets L-001.00 + L-400.00
62-64(d)	Seating	Caliper for (2) canopy trees @ 3 cal. inches each = 6 cal. inches total. At least 12 LF of seating shall be provided for every 100 LF of UC, excluding the length of any entry or transition area and the first 50'-0" of a	N/A	45 LF of seating is required in non-excluded areas of the UC, or approximately 22.5 LF each for Parcel 7 and Parcel 5.	Complies	See Sheets L-001.00 + L-500.00
		Type 2 UC. For the purposes of UC seating calculations, the length of the UC is calculated from its western abutment with the SPW to the property line at Janet Place (476.33 LF) minus the 40'-0" Transition Area, and minus the 50'-0" Entry Area offset from Janet Place, 476.33 LF - 40 LF - 50 LF = 386.33/100 = 3.8 x 12 = 45 LF of seating		Parcel 7: proposes (4) 6'-0" lg. benches = 24 LF Parcel 5: will need to include a min. 21 LF of seating. Location, type, and length of seating to be determined as Parcel 5's building footprints/setbacks and open space plaza space evolves.		
62-64(d)	Seating: Type 2 Excluded Areas	required. Type 2 excluded areas include a Transition Zone and Entry Area defined here as the first 50'-0" offset from a public street. Excluded areas shall have a at least 24 LF of seating.	N/A	24 LF of seating is provided in Transition Area. 24 LF of seating is provided in the Type 2 UC Entry Area, in first 50'-0" offset from Janet Place.	Complies	See Sheets L-001.00 + L-500.00
62-64(e)	Trash Receptacles	(1) trash receptacle shall be provided within 15'-0" of a street, public park, or other public place. (1) receptacle shall be provided where the UC adjoins a SPW or SPAA.	N/A	Total of (3) trash receptacles are propoped for the UC. Parcel 7: (3) trash receptacles proposed along UC: (1) where UC adjoins the SPW; (1) at west side of intersection of Transverse Rd.; (1) at	Complies	See Sheets L-001.00 + L-500.00
62-65	PUBLIC ACCESS DESIGN REFERE Hollow Plastic Material	Hollow plastic materials such as PVC or similar shall not be permitted on guardrails, fences, seating, trash receptacles or other similar	N/A	intersection w/ Janet Place at entry to UC. No hollow plastic is used.	Complies	See Site Furnishing Details. Sheets L-800.00- L806.00
	High Density Polyethylene	furniture. High density polyethlene is permitted.	N/A	No high density polyethylene is used.	N/A	N/A
62-651(a)	GUARDRAILS, GATES, AND OTH Guardrails	Guardrail shall refer only to fencing or similar structures provided along a bulkhead, stabilized shore or water's edge of pier or platform. 42" max. ht. permitted. No more than 30% opaque or solid elements. May be mounted on	N/A	42" ht. guardrail is proposed along north-west property line of Lot 7.	Complies	See Sheets L-200.00 + L-801.00
62-651(c)(1)	Fence and Wall Locations	a solid curb not higher than 6". Fences and walls shall be limited to the following locations: (i) along the boundary of a WPAA and an adjoining private area on the zoning lot; (ii) around the perimeter of a playground,	N/A	Low walls (none exceeding 21" above finished grade) have been provided: 1) around Children's Play Area 2) around Adult Fitness Area 3) cheek walls of stairs	Complies	See Sheets L-300.00 L-500.00, L-701.00- L-703.00
		tot-lot or dog-run; (iii) adjoining WD uses; (iv) within a visual corridor, and (v) along any grade level change of 30" or greater.		4) retaining wall at perimeter of Terraced Seating 5) sloping terraced garden walls at Terraced Seating 6) concrete seat wall along SPW to retain lawn 7) concrete curb wall along south-west boundary		
62-651(c)(2)	Fence Height	36" max. ht. permitted. May be mounted on a	N/A	An existing 2'-6" ht. +/- DOT wall is located within the Roosevelt Ave. Visual Corridor. A 36" ht. fence is proposed along the southern boundary of	Complies	See Sheets
		solid curb not higher than 6"; 70% min. open.		zoning lot of Lot 7. Fence to be mounted on 12" - 25" ht. concrete curb wall. Fence to meet existing DOT wall along Roosevelt Ave. A low (10-1/4" ht.) foot rail is proposed for the Terraced Seating Area, as wheelchair protection barrier. A 18" ht. barrier rail is proposed for front entry planting beds to Children's Play Area. Temporary fencing to be integrated with retaining		L-200.00, L-801.00, - L-301.00 for Interim Conditions
62-651(c)(3)	Wall Height	Walls shall not exceed a height of 21", and may be fully opaque.	N/A	wall/Jersey Barrier system will be provided along the shared Lot Lines of Parcel 5/7. (See L-301 and Civil drawings of PAPS certification for Interim Conditions Plans.) Proposed wall heights (above finished grade) do not exceed 21" ht. within the WPAA. Note: a 25" ht. curb	Complies	See Sheets L-300.00 L-500.00, + L-801.00
				wall required to retain grade along portion of Roosevelt Ave. DOT/FDNY Access Ramp due to existing conditions of DOT wall and road grades.	-	
62-651(c)(4)	Fence Type	Chain link fencing or barbed or razor wire shall not be permitted.	N/A	Chain link fencing or barbed or razor wire is not proposed for the site for Final Build Out. CLF construction fencing to be used as temporary fencing in the interim condition and to be integrated with retaining wall/Jersey Barrier system will be provided along the shared Lot Lines of Parcel 5/7.	Complies	See Sheet L-301.00 for Interim Conditions
62-651(d)	Gate Locations	Gates are permitted only at the boundaries of the WPAA and adjacent areas such as streets, public parks, or other public ways or from adjacent zoning lots. Gates shall not intrude into any planting area.	N/A	A proposed 48" ht. double bi-fold gate is located on the southern terminus of the SPW at the Lot 7 zoning lot line. Fence and gate are proposed at this location to secure this boundary until DOT has made determinations about long-term conditions along Roosevelt Ave and under	Complies	See Sheet L-301.00 for Interim Conditions

> 39-08 JANET PLACE FLUSHING, NY 11354

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

DEVELOPER

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

LANDSCAPE ARCHITECT

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK NY 10025

NEW YORK, NY 10025 TEL 212 206 0630 WWW.ABBNYC.COM

ARCHITECT
PETER F. POON ARCHITECT P.C.
12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

Abel Bainnsol LANDSCAPE ARC

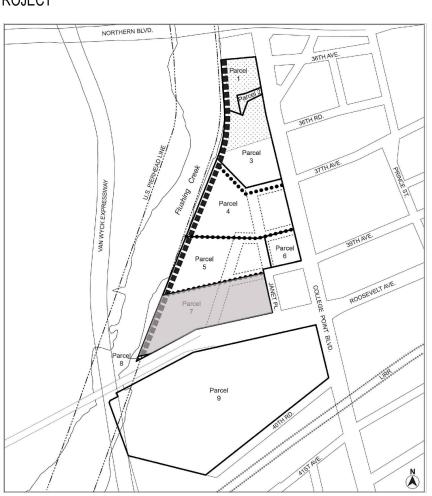
NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No DATE ISSUE / REVISION

PROJECT



WPAA ZONING ANALYSIS TABLE II

SHEET No.: 7 of 35

| SCALE | SCALE | SCALE | DATE: 03/24/23 | PROJECT No.: - | DRAWING BY: AD | CHK BY: JB | DWG No.: | L-004.00

ZONING SECTION	<u>ITEM</u>	REQUIRED/PERMITTED BY ZONING RESOLUTION	PROPOSED PER ZONING RESOLUTION	**PERMITTED/PROPOSED WITHIN DEC JURISDICTION AREA	COMPLIANCE	DRAWING REFERENCE
	GUARDRAILS, GATES, AND OTH Gate Height	IER PROTECTIVE BARRIERS (CONTINUED) Max. 4'-0" ht.	N/A	Double bi-fold gate is 48" ht.	Complies	See Sheet L-801.00
	Gate Opacity	Max. 30% opaque or solid.	N/A	Gates are max. 30% opaque or solid.	Complies	See Sheet L-801.00
62-652 62-652(a)	SEATING Seating With Backs	50% min. of required seating shall have backs. 396 LF of seating required. 198 LF min. (or 50%) shall have backs.	N/A	252.25 LF total of seating provided with backs. 180.50 LF of backed seating provided within the SPW. 71.75 LF of backed seating provided within the SPAA.	Complies	See Sheet L-500.00
	Seating With Back Orientation	50% min. of required seating with backs shall face the water. 99 LF of Required Seating with Backs shall be facing the water.	N/A	169.25 LF total of backed seating is facing the water. 108.00 LF of backed seating within SPW is facing the water. 61.25 LF of backed seating within SPAA is facing the water.	Complies	See Sheet L-500.00
	Seat Back Height	Min. 14" Ht.	N/A	Seat backs are 14" min. ht.	Complies	See Sheets L-801 - L-804.00
62-652(a)	Seat Back Angle	Reclined 10-15 degrees from vertical or rounded for comfort.	N/A	Seat backs recline at angle between 10°-15° degrees from	Complies	See Sheets L-801 - L-804.00
62-652(b)	Seat Depth for Single Seating, Backed + Backless	Per Section 127-53 (Special Requirements for WPAA's), the minimum seat depth requirementts of Section 62-652 (b) has been modified to 16" for seating with or without backs. For seating with backs, such depth shall not be greater than 20".	N/A	vertical or are rounded for comfort. Single seating depth, backed and backless, varies between 16" to 20" wd.	Complies	See Sheets L-801 - L-804.00
	Seat Depth for Double Seating		N/A	Double seating is 36" wide. min. and is accessible from both sides.	Complies	See Sheet L-802.00
	Seat Depth for Planter Edge	When seating is provided on a planter ledge, such ledge must have a min. depth of 22".	N/A	Wall-mounted seating on planter ledges have a min. depth of 22".	Complies	See Sheet L-802.00
62-652(c)	Seat Height	A min. 75% of the required seating shall have a height not less than 16" nor greater than 20" above the level of the adjacent grade.	N/A	A min. of 75% of seating throughout the WPAA has a height between 16"-20".	Complies	See Sheets L-801 - L-804.00
62-652(d)	Seating Clearance	396 LF Req'd Seating x .75 = 297 LF of seating will have a height not less than 16" nor greater than 20". Seating shall be located a min. of 22" from any		Spating is located a minimum of 2211 from a result of 111	Complies	Saa Shaata
υ ∠- υ ጋ ∠(Ϥ)	Seating Clearance Seating Clearance At	Seating shall be located a min. of 22" from any circulation path or permitted obstruction along the accessible side of such seating. Seating without backs may be as close to a	N/A	Seating is located a minimum of 22" from any circulation path or permitted obstruction along the accessible side of such seating. Stone block seating is 4'-0" from guardrail at northwest	Complies	See Sheets L-100.00 + L-500.00 See Sheets
62_652/6\	Guardrail	guardrail as 12". In the SPW and SPAA, a min. of (2) of the		corner of zoning lot. The WPAA provides (11) seating types, including: fixed		L-100.00 + L-500.00
62-652(e)	Types of Seating	following types of seating are required: moveable seating, fixed individual seats, fixed benches with backs, fixed benches without backs, lounging chairs, and design feature seating.	N/A	individual seats, fixed backed benches, fixed backless benches, moveable tables and chairs, fixed tables and chairs, picnic tables, stone seat blocks, loungers, backed and backless wall-mounted seating, and design feature seating including terraced seating and platform seating.	Complies	See Sheet L-500.00
52-652(e)(1)	Design Feature Seating	25% max. of required seating may be design feature seating type which include planter ledges, seating walls, and seating steps. Walls and planter ledges to have min. 1" radius rounded edges.	N/A	Platform Seating (SPW): 27.17 LF Terraced Seating (SPAA): 60.08 LF Total: 87.25 LF or 21.5% of 404 LF required. Additional Design Feature Seating is included in the	Complies	See Sheets L-500.00 + L-804.00
		99 LF max. (25% of 396 LF) of design feature seating allowable.		WPAA as concrete seat walls, but not counted towards required LF of seating.		
62-652(e)(2)	Moveable Seating	50% max. of required seating. Back is required. Counted as 18" of linear seating per chair. Shall not be fixed or chained while area is open to the public.	N/A	(12) moveable seats, counted at 1.5 LF each, totals 18 LF total of moveable seating, all located within the SPAA, or 4.5% of total required seating.	Complies	See Sheets L-500.00 + L-803.00
62-652(e)(3)	Seating Steps	198 LF max. (50% of 404 LF) of moveable seating allowable. Seating steps shall not include any steps intended for circulation and must have a height	N/A	Terraced Seating feature includes steps 16" ht. and depth =/> 18" wd., provided in the SPAA.	Complies	See Sheets L-500.00 + L-804.00
62-652(e)(4)	Lounge Chairs	no less than 12" nor greater than 30" and a depth not less than 18". Lounge chairs shall allow for a reclined position supporting the back as well as the legs. Lounge	N/A	(7) loungers calculated as 21 LF of seating total, all provided within the SPW.	Complies	See Sheets L-500.00 + L-803.00
52-652(f)	Social Seating Configuration	chairs may be credited as 36" of linear seating per chair. 25% min. of required seating shall be social seating, consisting of seats that are placed in	N/A	400.25 LF total performs as social seating in accordance with this section.	Complies	See Sheet L-500.00
		close proximity and at angles to one another or in facing configurations that facilitate social interaction. 99 LF min. (25% of 396 LF) of social seating		260.67 LF social seating located within the SPW. 139.58 LF social seating located within the SPAA.		
	Social Seating & Tables	required. A min. of 2 SF of tables shall be required for	N/A	(8) tables of 42" Ø each (9.62 SF each) 4.9 SF = 76.96 SF	Complies	See Sheets
		every (3) LF of social seating. 99 SF social seating min. req'd / 3 = 33 X 2 = 66		of tables. Note: Picnic tables are not counted towards this total due		L-500.00 + L-803.00
	Shaded Seating	SF of tables are required. At least 20% of required seating shall be	N/A	to seat depth < 16" wd. 175 LF of required seating is shaded.	Complies	See Sheets
		shaded. 396 LF x .20 = 79 LF min. of seating shall be shaded.		122.50 LF of shaded seating is located in the SPW. 52.50 LF of shaded seating is located in the SPAA.		L-400.00, L-401.00, L-500, + L-501.00
52-653	LIGHTING Min. Average - Walkable Areas	Not less than 1 horizontal foot candle	N/A	Average luminance on walkable areas is .2 FC	Complies	See Sheet L-600.00
	Min. Illumination of Other	(lumens per foot) 0.2 horizontal foot candle	N/A	Min. site illumination is .2 FC	Complies	See Sheet L-600.00
	Areas Illumination Schedule	To be maintained from 30 minutes before sunset to 30 minutes after sunrise.	N/A	Lighting to be maintained from 30 minutes before sunset to 30 minutes after sunrise.	Complies	See Sheet L-600.00
	Assessed the state of the state	Max. 10:1 within WPAA	N/A	Average uniformity is between 10.1 to 1.	0	See Sheet L-600.00
	Average illumination to min. foot candle uniformity ratio Glare Control	Semi-cutoff standard (not more than 5% of peak candle intensity radiating above 90 degrees and 20% of peak intensity above 80	N/A N/A	All Torres Fixtures comply with the IDA. Because of optics and LED's, there is 0 lumens above 90 degrees, less than 2% is above 80 degrees.	Complies	See Sheet L-600.00
	Color Temperature Range	degrees). 3000k-4100k / min. color index of 65.	N/A	4000K 80 CRI	Complies	See Sheet L-600.00
	Lens and Globes	Polycarbonate or equivalent.	N/A	All lenses and globes within reach of pedestrians shall be polycarbonate or vandal-resistant acrylic with equivalent light transmission and appearance.	Complies	See Sheet L-600.00
	Lighting Sources Mounted on Adjacent Buildings	All lighting sources that illiminate a WPAA and are mounted on or located within buildings adjacent to the WPAA shall be shielded from direct view. All lighting shall be shielded to minimize any adverse effect on surrounding residential buildings.	N/A	All light fixtures proposed in the WPAA are shielded to minimize and adverse effect on surrounding residential buildings.	Complies	See Sheet L-600.00

ZONING SECTION	<u>ITEM</u>	REQUIRED/PERMITTED BY ZONING RESOLUTION	PROPOSED PER ZONING RESOLUTION	**PERMITTED/PROPOSED WITHIN DEC JURISDICTION AREA	COMPLIANCE	DRAWING REFERENCE
62-654	SIGNAGE Location	Signs to be directly visible without obstructions.	N/A	Signs are directly visible.	Complies	See Sheet L-500.00
	Materials	Fully opaque, non-reflective, durable materials	N/A	Signs are etched stainless steel.	Complies	See Sheet L-806.00
	Font	such as metal or stone.		Font is sans-serif, Arial, and is 1" ht. min. and ranges up to		See Sheet L-806.00
	Font	Clear, sans-serif, non-narrow font, such as Arial, Helvetica, or Verdana, with min. height of 1/4" ht.	N/A	2" ht.	Complies	See Sileet L-800.00
	Lettering Color	Solid color contraxt to background color.	N/A	Font color is solid black and contrasts with background.	Complies	See Sheet L-806.00
62-654(a)	Entry Signage	All WPAA shall contain an entry sign mounted on a permanent structure. Such sign shall be located within 5'-0" of the boundary of the entrance from the street, public park, or other	N/A	(2) WPAA entry signs are located as follows: (1) within UC Type 2 at intersection of 39th Ave. and Janet Place; (1) within SPW at wood decked gathering area, at	Complies	See Sheets L-500.00 + L-806.00
62-654(a)(1) (2)(3)(4) (5)(6)(7)(8)(9)(10)	Entry Signage Symbols, Lettering And Information Requirements	public way. Entry signage must contain specified symbols, information, and lettering sizes per requirements outline in these sections.	N/A	boundary of POS-2. Entry sign contains all symbols, information, and lettering requirements outlined in these sections.	Complies	See Sheet L-806.00
62-654(b)	Signage at Zoning Lot Line	A sign shall be required to be located within 5'-0" of any zoning lot line adjacent to another zoning lot within a SPW and at a distance no greater than 5'-0" from the required circulation path.	N/A	 (2) Zoning Lot Line signs have been located as follows: (1) within SPW, south side, within 5'-8" of boundary with Lot 1, Parcel 8 on south; this sign requires extra distance from zoning lot line due to conflicts with double bi-fold gate when in open position. (1) within SPW, north side, within 5'-0" of boundary of Parcel 5, SPW. 	Complies	See Sheets L-100.00 L-500.00
62-654(c)	Other Signage: Seating Area Signage	Seating area shall be identified by sign with the words, "Seating Open to Public" in lettering min. 1" ht., and clearly visible from the WPAA. Such sign shall be no greater than 60" sq., no higher than 18" above grade, and angled for visibility. The required sign may be freestanding or attached to a permitted amenity with the WPAA.	N/A	 (4) seating area signs are provided and mounted on a concrete footing as follows: (1) @ platform seating/lounger overlook (SPW) (1) @ decked gathering space/central shoreline (SPW) (1) @ benches across from picnic grove (Secondary Path) (1) @ terraced seating (Secondary Path) 	Complies	See Sheets L-500.00 + L806.00
62-654(c)	Other Signage: POS Entry Sign (Directional Signage to WPAA)	Private Open Space signage dimensions and font sizes are referenced. Sign is 1'-3" wd. x 4'-2" ht. The bottom of sign shall be at least 18" above adjoining grade. Sign is mounted to 2" sq. x 3/8" thk. stainless steel posts. Sign is located within planting bed at entry to POS-2. Sign provides directional information to WPAA, hours of access, and defines space as ADA accessible.	N/A	(1) at the eastern entry to the POS-2 along Roosevelt Ave.	Complies	See Sheets L-500.00 + L806.00
62-655	PLANTING AND TREES Plant Palette	Planting plans shall include plants suited for	N/A	The proposed planting palette meets the requirements	Complies	See Sheets
		waterfront conditions and include a diversity of species with emphasis on native plants, salt tolerance, and the facilitation of sustainable habitats. No species listed on quarantine or as a host species for any disease listed by NYC DPR at the time of application shall be included.	N/A	set forth in this Section.	•	L-400.00 + L-401.00
	Irrigation	All landscape areas shall contain a built-in irrigation system or contain hose bibs within 100'-0" of all planting areas.	N/A	A site-wide drip irrigation system is being planned for the WPAA and POS'S.	Complies	N/A
52-655(a)	Planting Areas: Perimeter Edge And Retaining Walls	along the perimeter of any planting area. Any edging higher than 6" above adjacent grade	N/A	Planting areas within the WPAA are contained by flush paving or decking conditions, 6" curbs, or low retaining walls not exceeding 3'-0" ht.	Complies	See Sheets L-300.00 + L-400.00
		shall be considered a retaining wall. Retaining walls shall not exceed a height of 3'-0" as measured or visible above adjacent grade.				
		Minimum planting standard for required areas shall be turf grass, natural grasses, or groundcovers. All planting to be located on undisturbed subsoil or clean fill.				
62-655(a)(1)	Single Tree Pits	A single tree pit shall have a min. dimension of 5'-0" with a min. area of 30 SF and min. depth	N/A	There are no single tree pits provided within the SPW/SPAA.	N/A	See Sheet L-400.00
		of 3'-6". Only tree pits planted with groundcover shall count towards meeting a min. planting area requirements.		Single tree pits for the Type 2 UC, shall be in accordance w/ Section 62-655, Section 26-41 (Street Tree Planting) and Section 127-421 (c) (Requirements for PAPS).		
62-655(a)(2)	Continuous Tree Pits	A continuous tree pit is a planting area containing (2) or more trees. Continuous tree pits shall have a min. width and length of 5'-0"	N/A	There are no continuous tree pits provided within the SPW/SPA.	N/A	See Sheet L-400.00
		and min. depth of 3'-6".		Continuous tree pits for the Type 2 UC, shall be in accordance w/ Section 62-655, Section 26-41 (Street Tree Planting) and Section 127-421 (c) (Requiremnents for PAPS).		
62-655(a)(3)	Planting Beds	Planting beds for turf grass or groundcovers shall have min. dimensions of 2'-0" in any direction and a min. depth of 2'-0".	N/A	Planting bed dimensions for turf grass, groundcovers, shrubs, and trees comply with the requirements in this Section.	Complies	See Sheets L-400.00 + L-807.00
		Planting beds for shrubs shall have min. dimension of 3'-0" x 3'-0" for each shrub and a min. depth of 2'-6".				
62 GEE(a)(A)	Terraced Planting Area	Planting beds containing trees shall have a min. dimension of 5'-0" and a min. area of 30 SF for each tree, with a min. depth of 3'-6". A planting area of (2) or more planting beds	_	Terraced Planting Areas flank the Terraced Seating	Complies	See Sheets L-100.00
62-655(a)(4)	Terraceu Flanting Area	incorporating retaining walls on a slope with a grade change greater than or equal to 3'-0". Average depth of the planting beds between retaining wall shall be min. 3'-0". Retaining walls may exceed 3'-0" ht. provided that the front of the walls is screened by plant material.	N/A	Feature along the west building facade of Lot 7. Depth of planting beds between retaining wall exceeds 3'-0" and finished planting grades meet approximate top of retaining wall so that no portion of face of wall is exposed.	Compiles	L-300.00, L-702.00
62-655(a)(5)	Berms	A berm height shall not exceed the flood-resistant construction elevation on the zoning lot or 5'-0" above the lowest adjacent	N/A	Elevation at top of berm is El 17.0. Berms do not exceed 60" ht. from adjacent grade. (Design flood elevation is	Complies	See Sheet L-300.00
62-655(a)(6)	Lawns: Dimensions, Soil Depth, + Perimeter Conditions	zoning lot or 5'-0" above the lowest adjacent grade, whichever is higher. Lawn shall be a min. 500 SF with no dimension less than 18'-0" and a soil depth of 2'-6". Along at least 60% of the perimeter, a lawn shall have a grade level within 6" of the adjacent grade,	N/A	Lawn area in the SPW and SPAA totals 3406 SF. Lawn area in SPW: 1428 SF. Lawn area in SPAA: 1978 SF. Soil depths and perimeter conditions meet requirements within this Section. 83.5% of lawn perimeter is within 6"	Complies	See Sheet L-401.00
		providing unobstructed pedestrian access. Perimeter of lawn = 286 LF; 72 LF (25%) of lawn perimeter is contained by low retaining wall.		of the adjacent grade.		
127-421 127-421(c)	PAPS: Street Tree Pit Dimensions	ACCESSILBE PRIVATE STREETS (PAPS) (FOR FW) Street trees shall be planted in accordance w/Section 26-41 (Street Tree Planting), except that such street trees shall be planted within a street tree pit or a raised planting bed, with a min. 180 CF of soil for each tree, and w/ a min. horizontal width of 4'-0" and min. vertical depth of 3'-6. Planting pits or raised planting bed shall be located adjacent to, and extend	Street Trees are planted in a tree pit dimensioned at 4'-0" x 13'-0" lg. x 3'-6" dp. min. = 182 CF of planting soil for each tree. Where trees share a pit, each tree is afforded a min. of 180 CF of planting soil and shared pits are dimensioned accordingly.			See Sheets L-100.00 + L-400.00

> 39-08 JANET PLACE FLUSHING, NY 11354

DEVELOPER

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

LANDSCAPE ARCHITECT ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105

NEW YORK, NY 10025 TEL 212 206 0630 WWW.ABBNYC.COM

ARCHITECT PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM CIVIL ENGINEER

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

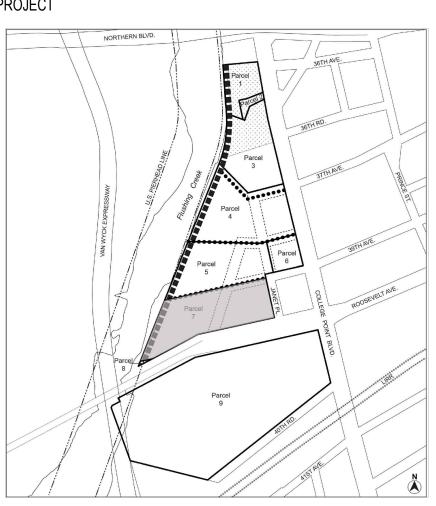
LANGAN ENGINEERING & ENVIRONMENTAL SERVICES 21 PENN PLAZA 360 W.31ST ST. NEW YORK, NY 10001 TEL 212 479 5400 WWW.LANGAN.COM

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No DATE ISSUE / REVISION



WPAA ZONING ANALYSIS TABLE III

ORIENTATION	SCALE
SEAL & SIGNATURE	DATE: 03/24/23
	PROJECT No.: _
	DRAWING BY: AD
	снк ву: ЈВ
	DWG No.:
	L-005.00
	SHEET No.: 8 of 35
	.1

ZONING SECTION	ITEM	REQUIRED/PERMITTED	PROPOSED	**PERMITTED/PROPOSED	COMPLIANCE	DRAWING
ZONING SECTION	TI EIVI	BY ZONING RESOLUTION	PER ZONING RESOLUTION	WITHIN DEC JURISDICTION AREA	COMPLIANCE	REFERENCE
62-655	PLANTING (RE-CONTINUED)	Companies is interested at the second	T	Sevening is proposed along portions of the porth west	Complies	See Sheet I 400 00
62-655(a)(7)	Screening	Screening is intended to create a landscaped buffer between the WPAAs and adjoining non-public uses to protect the privacy or minimize the visual impact of blank walls, equipment, loading and parking areas or similar conditions.	N/A	Screening is proposed along portions of the north, west, and south-facing building facade of Lot along blank walls of the building and publicly inaccessible areas. There are no parking garage or parking areas to screen.	Complies	See Sheet L-400.00
62-655(a)(7)(i)	Screening Buffers	Per Section 127-412 (a) (Special Provisions for Blank Walls), the blank wall provisions of Section 62-655 (a)(7) (ii) shall not apply. In lieu thereof, the Mitigation Elements set forth in Sections 37-361 and 37-362 shall be provided in accordance with provisions for Blank Wall Thresholds set forth in 37-361. See below for these sections.	N/A	Per Section 37-361, only Type 1 and Type 2 Blank Walls apply to proposed conditions for this project.	Complies	See Sheet L-400.00
37-361	BLANK WALL THRESHOLDS	No transparent materials or entrances or evits	D1/A	Type 4 Blank Malle on Let 7's south and west slovetions	Complies	See Sheet L 002 00
37-361 (a)	Type 1 Blank Walls	No transparent materials or entrances or exits are provided below a height of 4'-0" above adjoining sidewalk or grade, for a continuous width of at least 50'-0" A min. of 70% of the surface or linear footage shall be visually mitigated by (1) or more options outlined in Section 37-262. Min. width of such walls without mitigation shall not exceed 10 LF. Where Type 1 walls exceed 50' length, rules shall apply separately for each 50'-0" interval.	N/A	Type 1 Blank Walls on Lot 7's south and west elevations will be mitigated in accordance with Blank Wall Mitigation Elements, Linear Treatment, Planting, per Section 37-362 (b) (1).	Complies	See Sheet L-002.00
37-361 (b)	Type 2 Blank Walls	No transparent materials or entrances or exits are provided below a height of 4'-0" above adjoining sidewalk or grade, for a continuous width of at least 15'-0" A min. of 70% of the surface or linear footage shall be visually mitigated by (1) or more options outlined in Section 37-262. Where Type 2 walls exceed 50'-0" length, rules shall apply separately for each 50'-0" interval.	N/A	Type 2 Blank Walls on Lot 7's north, south, and west elevations will be mitigated in accordance with Blank Wall Mitigation Elements, Linear Treatment, Planting, per Section 37-362 (b) (1).	Complies	See Sheet L-002.00
37-362 37-362 (b) (1)	BLANK WALLS: MITIGATION ELE	Planting may include any combination of	N/A	Planting beds along Type 1 and Type 2 blank		See Sheets
		perennials, annuals, grasses, or shrubs in either planting beds, raised beds, or planter box. 1 LF of planting shall satisfy 1 LF of mitigation requirement. Planting beds or raised boxes shall be a min. of 3'-0" dp. x 5'-0" wd. Raised planters shall be min. 3'-0" ht.	N/A	walls are a min. of 3'-0" dp. x 5'-0" wd. No raised planter conditions are proposed. Planting mitigation treatments meet or exceed 70% of length of blank wall conditions on Lot 7's north, south, and west elevations.	Complies	L-002.00, L-400.00, + L-807.00
62-655 62-655(b)(1)	PLANTING (RE-CONTINUED) Trees - Tree Caliper	At time of planting, canopy trees shall be a min. of 3" caliper and ornamental trees shall be a min. of 2" caliper.	N/A	Proposed canopy and ornamental trees will be planted with min. caliper as required by this section.	Complies	See Sheet L-400.00
62-655(b)(2)	Trees - Trees in Single Tree Pits	Single trees pits need to comply with NYC DPR standard street tree planting details, which have been modified since this section was last updated (04/22/09).	N/A	There are no single tree pits provided within the SPW + SPAA. Please refer to Section 62-64(c)(2) for Single Tree Pit Planting compliance for street trees in the Upland Connection.	Complies	See Sheet L-400.00
62-656 62-656(a)(1)	Location Requirements - Within Required Circulation Paths	All paving material for a required circulation path shall be permanent, durable, accessible to persons with physical disabilities, and shall consist of one or a combination of the following: (i) Unit pavers constituted of stone, concrete, granite, asphalt or a mix of these materials with other aggregates; (ii) Concrete, prefabricated, poured or permeable; (iii) Wood planks for boardwalk or decking, except that tropical hardwood shall not be permitted; (iv) Solid plastic, such as "plastic lumber," high density polyethylene, wood-composite plastic or fiber-reinforced plastic.		Paving material on required circulation paths within the WPAA includes: a. cast-in-place concrete b. wood decking	Complies	See Sheets L-200.00 + L-800.00
62-656(a)(2)	Location Requirements - Other Than Within Required Circulation Paths	In addition to the permitted paving materials of paragraph (a)(1) of this Section, the following materials shall be permitted anywhere in a WPAA: (i) Blocks such as Belgian blocks, cobble stones, concrete cobbles, or Eurocobble; (ii) Gravel, loose, installed over a solid surface or glued with resin; (iii) Wood chips or other similar materials; (iv) Metal grating, limited to locations that require drainage and for platforms; (v) Asphalt, impermeable or porous, which may be imprinted with thermoplastic patterns.		Additional paving material types used in other areas of the WPAA include: a. granite blocks @central gathering space of SPAA b. granite blocks @ triangular seating area along mid-point of SPW c. concrete blocks @ 'Shared Platform' between Parcels 7+5 on SPW d. concrete blocks @ UC cul-de-sac e. permeable concrete blocks @ UC continuous tree pits	Complies	See Sheets L-200.00 + L-800.00
62-656(a)(3)	Location Requirements - Special Regulations for Type 2 UC	Paving for driveways and pedestrian paths shall be subject to the standards of the New York City Department of Transportation (NYC DOT) for roadbeds and sidewalks.		N/A	Complies	See Sheets L-200.00 + L-800.00
62-656(b)(1)	Dimensional Requirements - Unit Pavers	All unit pavers shall have a minimum thickness dimension of 2" for pedestrian use and 3" for vehicular use and shall not exceed a max. of 4 SF in area.	N/A	All proposed unit pavers have a min. thickness of 3".	Complies	See Sheet L-800.00
62-656(b)(2)	Dimensional Requirements - Wood Planks And Plastic Lumber	Wood planks or plastic lumber for boardwalk or decking shall be a min. of 3" thk. (nominal dimension). The direction of planks shall not be parallel to the direction of traffic.	N/A	Wood planks shall be a min. of 3" thk. (nominal dimension planks are proposed to be 3" x 6" x 17'-6" lg. (nominal). Direction of planks will run perpendicular to primary direction of traffic.); Complies	See Sheets L-200.00 + L-800.00
62-656(b)(3)	Dimensional Requirements	Concrete slabs, other than in the UC, shall be a	N/A	There are no proposed concrete slabs proposed for paving	N/A	N/A
62-657	- Concrete Slab BICYCLE RACKS	max. of 2'-0" in any one dimension.		treatments for this project.	<u> </u>	
		30" of maneuverable space shall be provided between parallel bicycle racks and an 8'-0" wd. aisle shall be provided between bicycle rack areas.	N/A	30" of maneuverable space in provided between parallel bicycle racks.	Complies	See Sheets L-500.00 + L805.00
62-657	TRASH RECEPTACLES		<u> </u>		L	1
		Trash receptacles shall be placed within 50'-0" of a seating area, have a min. capacity of 25 gallons and have either top openings that measure at least 12" wd. or side openings that inscribe a rectangle measuring at least 12" wd. and 6" ht. Trash receptacles shall be able to use standard bags used to collect trash.	N/A	Proposed trash receptacles are placed within 50'-0" of a a seating area, have 39 gallon capacity and have a (customized) side openings measuring 6" x 18.5" wd.	Complies	See Sheets L-500.00 + L805.00

ZONING SECTION	<u>ITEM</u>	REQUIRED/PERMITTED BY ZONING RESOLUTION	PROPOSED PER ZONING RESOLUTION	**PERMITTED/PROPOSED WITHIN DEC JURISDICTION AREA	COMPLIANCE	DRAWING REFERENCE	SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9
127-533	PHASED DEVELOPMENT OF W	ATERFRONT ACCESS					
127-533(a)	Phase 1 WPAA Improvements	Phase 1 WPAA improvements apply when development occurs on the upland portion of the parcel bounded by PAPS and other streets. Phase 1 shall be provided in accordance with the SFWD (FW) Map 7.	N/A	A portion of Phase 1 is located within DEC jurisdiction and will be developed in accordance to plan shown on Sheet L-900.00, Waterfront Zoning Lot Phasing: Phase 1 Plan.	Complies	See Sheet L-900.00	39-08 JANET PLACE FLUSHING, NY 11354
127-533(a)	Phase 2 WPAA Improvements	Phase 2 WPAA improvements apply when development occurs on the seward portion of the parcel bounded by the shoreline and PAPS.	N/A	A portion of Phase 2 is located within DEC jurisdiction and will be developed in accordance to plan shown on Sheet L-900.00, Waterfront Zoning Lot Phasing: Phase 2 Plan.	Complies	See Sheet L-901.00	DEVELOPER
127-533(b)	Phase 1 Upland Connnection: Minimum Standards for Interim Condition	Phase 1 shall meet the design requirements for Minimum Standards for Interim Condition, per Section 127-532 (b).	N/A	Public access is provided from first upland street (Janet Place) to the SPW with a 14'-0" wd. (per FDNY requirements) road bed/path of travel and access to top of bank meeting the requirements of Sections 62-62 (a)(1), 62-64 (a)(1), and 62-64 (a)(2). Street trees proposed in Upland Connection will be temporarily located in 4'-0" sq. moveable planters meeting minimum Interim Upland Connection Standards.	Complies	See Sheet L-900.00	THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368 TEL 718 397 8800 WWW.UNITEDGROUPNY.COM LANDSCAPE ARCHITECT
127-533(b)	Phase 1: Portion of SPW & Temporary Waterfront Viewing Area	Portions of the SPW provided in Phase 1 may be modified to the minimum extent necessary to accommodate a temporary waterfront viewing area.	N/A	Portions of the SPW on northwest corner of the zoning lot are provided with a 14'-0"road bed/path of travel and access to top of bank as a temporary waterfront viewing area.	Complies	See Sheet L-900.00	ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

NEW YORK, NY 10025 TEL 212 206 0630 WWW.ABBNYC.COM

ARCHITECT PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER LANGAN ENGINEERING & ENVIRONMENTAL SERVICES 21 PENN PLAZA 360 W.31ST ST. NEW YORK, NY 10001 TEL 212 479 5400 WWW.LANGAN.COM

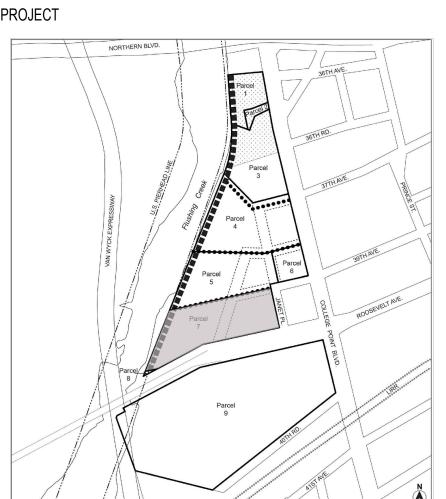
CONSTRUCTION

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

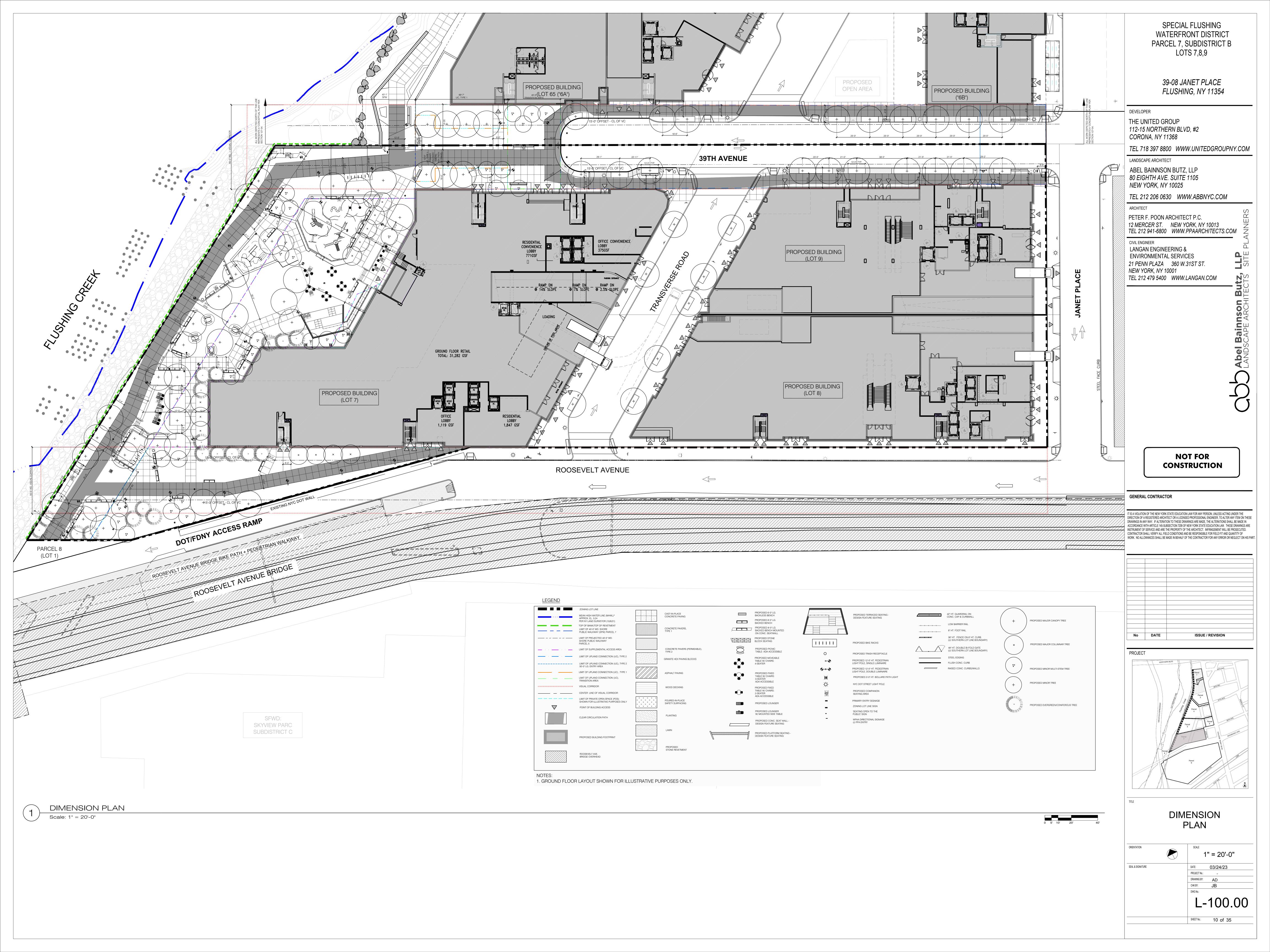
NOT FOR

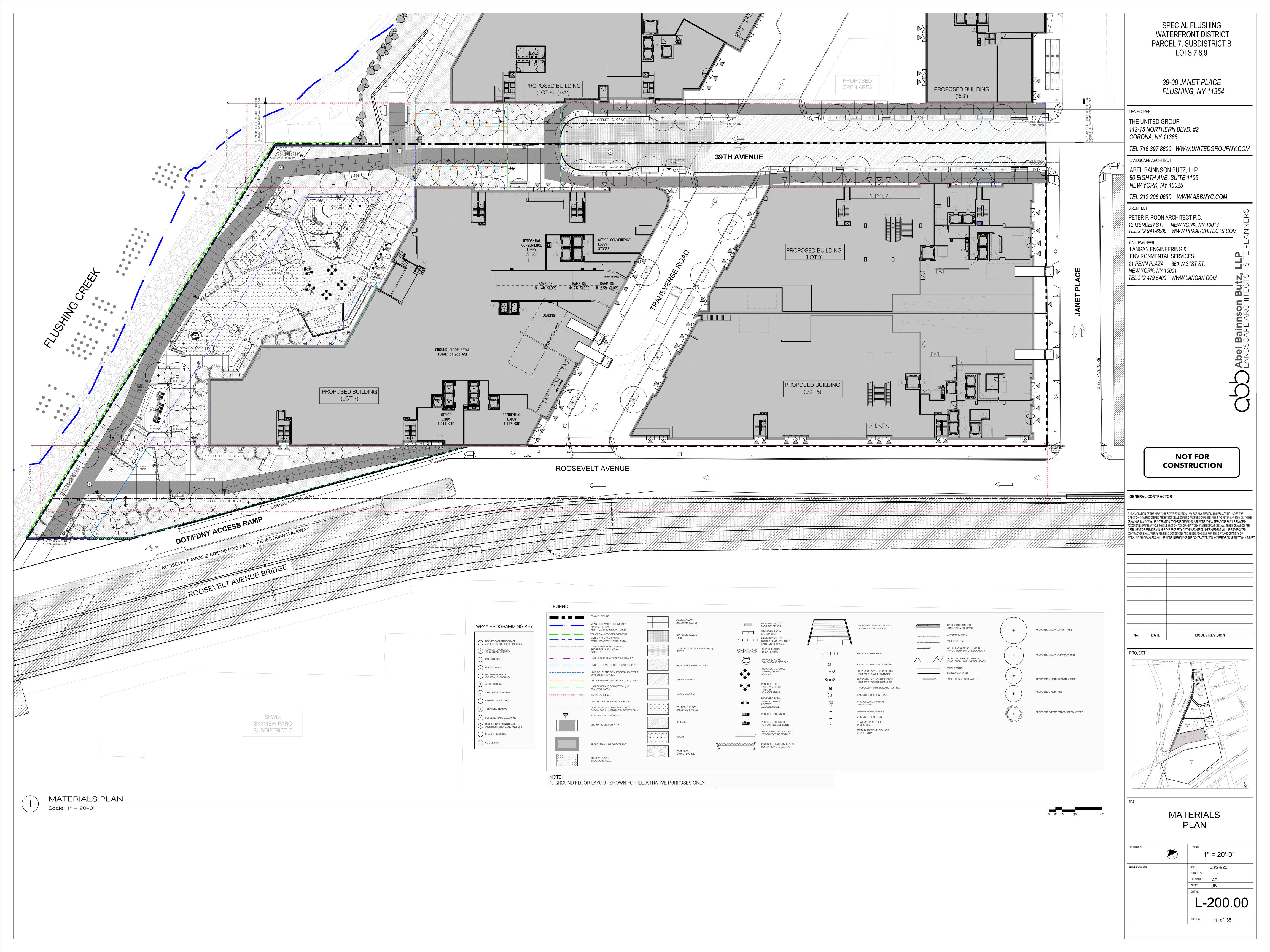
No DATE ISSUE / REVISION

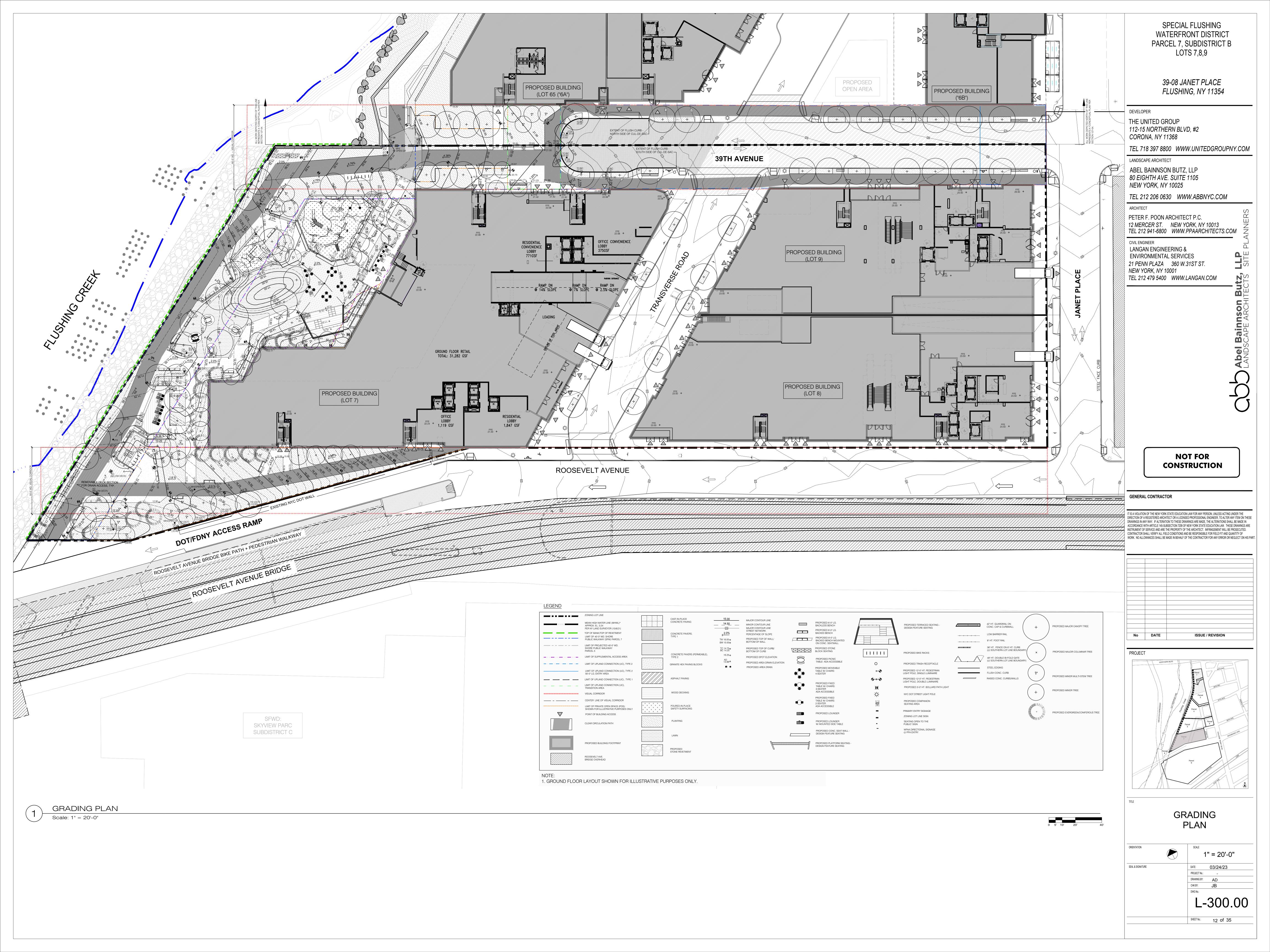


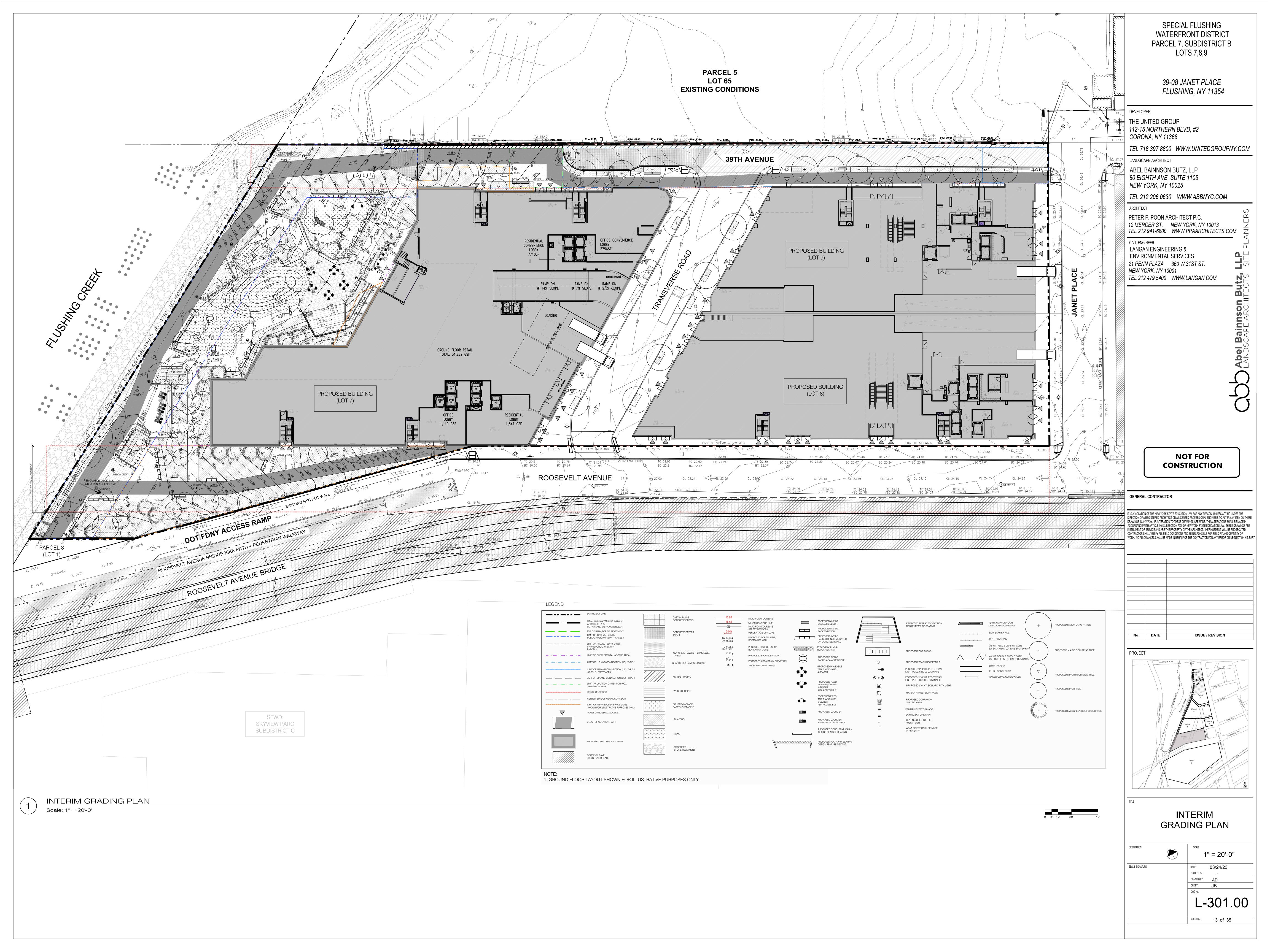
WPAA ZONING ANALYSIS TABLE IV

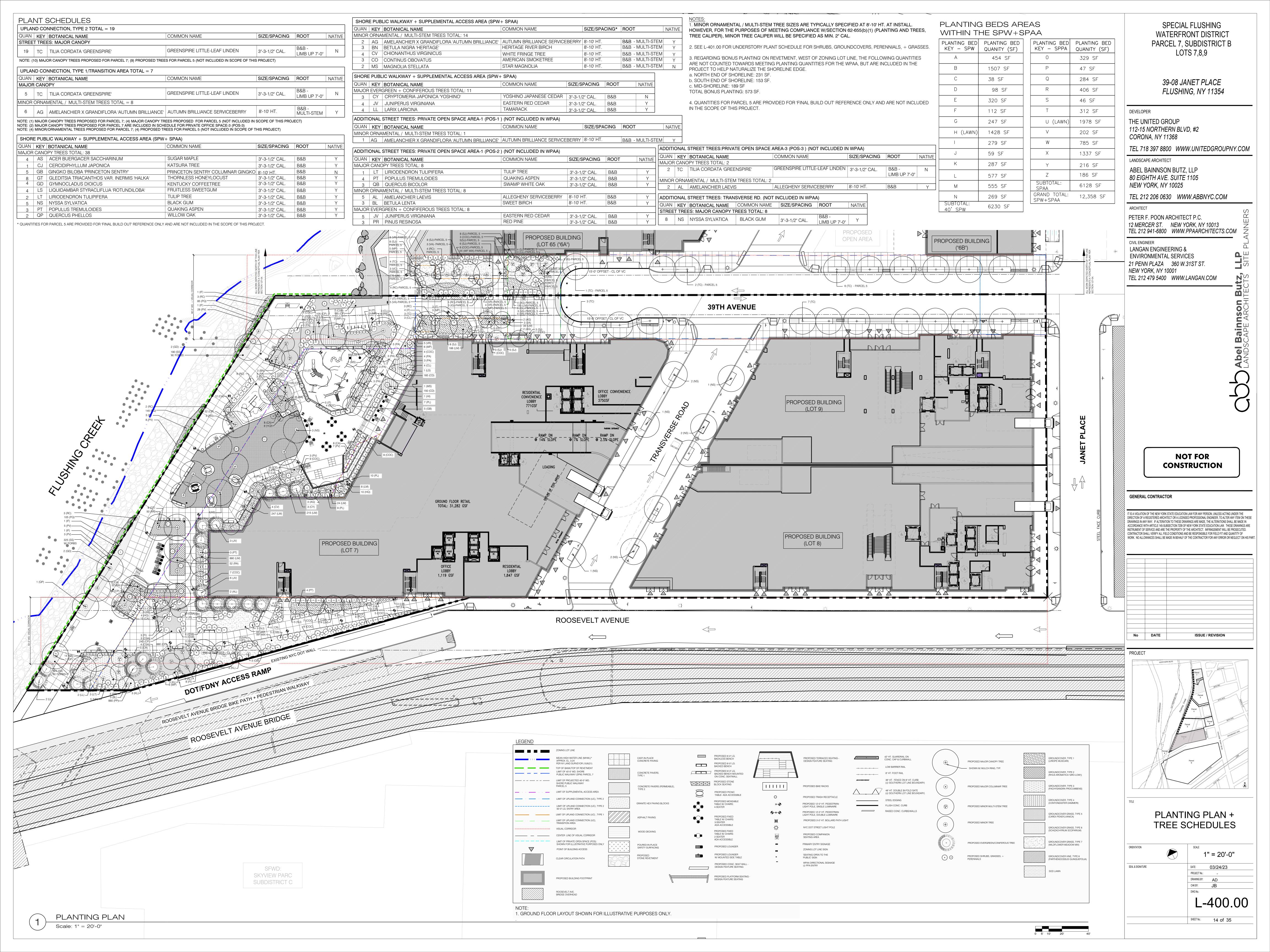
ORIENTATION	SCALE
SEAL & SIGNATURE	DATE: 03/24/23
	PROJECT No.: _
	DRAWING BY: AD
	CHK BY: JB
	DWG No.:
	L-006.00
	SHEET No.: 9 of 35











QUAN KE	Y BOTANICAL NAI	ME	COM	IMON NAME	SIZE/SPACING	ROOT	NATIVE
SHRUBS							
1	CL CLETHRA ALNIF	FOLIA	SWE	ET PEPPERBUSH	36"-48" O.C.	CONTAINER	Υ
5	IT ITEA VIRGINICA		VIRG	SINIA SWEETSPIRE	24"-36" O.C.	CONTAINER	Y
2 F	ROSA CAROLINA	A	PAS ⁻	TURE ROSE	36"-48" O.C.	CONTAINER	Υ
5 5	SKIMMIA JAPON	NICA	JAP/	ANESE SKIMMIA	30"-36" O.C.	CONTAINER	Υ

QUAN	KEY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING	ROOT	NATIVE
SHRUE	S			•		
1	COC	CEPHALANTUS OCCIDENTALIS	COMMON BUTTONBUSH	36"-48" O.C.	CONTAINER	Y
9	CL	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	36"-48" O.C.	CONTAINER	Y
9	IG	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24"-36" O.C.	CONTAINER	Υ
7	IT	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	24"-36" O.C.	CONTAINER	Υ
5	MP	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	36"-48" O.C.	CONTAINER	Υ
14	RC	ROSA CAROLINA	PASTURE ROSE	36"-48" O.C.	CONTAINER	Y
16	SJ	SKIMMIA JAPONICA	JAPANESE SKIMMIA	30"-36" O.C.	CONTAINER	Υ
8	VA	VIRBURNUM ACERIFOLIUM	MAPLELEAF VIBURNUM	36"-48" O.C.	CONTAINER	Υ
3	VC	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	36"-48" O.C.	CONTAINER	Υ
12	VR	VIRBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	36"-48" O.C.	CONTAINER	
GRASS	ES AND G	ROUNDCOVERS				
65	LM	LIRIOPE MUSCARI	BLUE LILY TURF	12" O.C.	CONTAINER	Υ
XX	WF MIX	WILD FLOWER MIX	-			Υ

* QUANTITIES FOR PARCEL 5 ARE PROVIDED FOR 'FINAL BUILD OUT' REFERENCE ONLY AND ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT.

QUAN	KEY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING	ROOT	NATIVE
SHRUE	S					
46	COC	CEPHALANTUS OCCIDENTALIS	COMMON BUTTONBUSH	36"-48" O.C.	CONTAINER	Υ
7	CL	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	36"-48" O.C.	CONTAINER	Y
7	CSA	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE RED OSIER DOGWOOD	36"-48" O.C.	CONTAINER	Y
7	CSB	CORNUS SERICEA 'BUDD'S YELLOW'	YELLOWTWIG DOGWOOD	36"-48" O.C.	CONTAINER	Y
1	HI	HAMAMELIS X INTERMEDIA 'ARNOLD PROMISE'	ARNOLD PROMISE HYBRID WITCH HAZEL	36"-48" O.C.	CONTAINER	Υ
8	HQ	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	36"-48" O.C.	CONTAINER	Υ
24	IT	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	24"-36" O.C.	CONTAINER	Υ
12	MP	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	36"-48" O.C.	CONTAINER	Υ
16	PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	36"-48" O.C.	CONTAINER	N
6	RC	ROSA CAROLINA	PASTURE ROSE	36"-48" O.C.	CONTAINER	Υ
GROU	NDCOVER:	S AND GRASSES				
83	CA	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	24"-36" O.C.	CONTAINER	Υ
1292	CP	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	12" O.C.	CONTAINER	Y
783	CD	CONTONEASTER DAMMERI	BEARBERRY CONTONEASTER	12" O.C.	CONTAINER	Υ
982	LM	LIRIOPE MUSCARI	BLUE LILY TURF	12" O.C.	CONTAINER	N
430	PP	PACHYSANDRA PROCUMBENS	ALLEGHENY SPURGE	12" O.C.	CONTAINER	Υ
22	PV	PANICUM VIRGATUM	SWITCHGRASS	24"-36" O.C.	CONTAINER	Υ
39	PA	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	24"-36" O.C.	CONTAINER	Y
177	RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	24"-36" O.C.	CONTAINER	Υ
639	SS	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	15" O.C.	CONTAINER	Υ
XX	WF MIX	WILD FLOWER MIX				Υ

SHORE	ORELINE/REVETMENT BONUS PLANTINGS							
7	IF	IVA FRUTESCENS	MARSH ELDER	24"-36" O.C.	CONTAINER	Υ		
43	PV	PANICUM VIRGATUM	SWITCHGRASS	24"-36" O.C.	CONTAINER	Υ		
188	PQ	PARTHENOCISSUS QUINQUEFOLILA	VIRGINIA CREEPER	12" O.C.	CONTAINER	Υ		
8	RC	ROSA CAROLINA	PASTURE ROSE	36"-48" O.C.	CONTAINER	Υ		
XX	-		MIX OF FORBS - TBD			Υ		

LAWN	PLANTING FOR SPW + SPAA: "PLAYERS BEST" PER COLONIAL SEED, PRO FORMA SPECIFICATION BELOW: 3507 SF TOTAL
73%	TURF TYPE TALL FESCUE, MIN. 3 PROPRIETARY VARIETIES
15%	KENTUCKY BLUEGRASS, MIN. 2-3 PROPRIETARY VARIETIES, INCLUDING HYBRID BLUE
10%	PERENNIAL RYEGRASS, MIN. 2 PROPRIETARY VARIETIES
2%	MICRO-CLOVER (WHITE CLOVER)

WILD FLOV	VER SEED MIXTURE: FOR UPLAND CONNECTION, SPW, SPPA, PPA: XX TOTAL SF			
WILD FLOV	WER SEED MIXTURE:			
PERCENTA	AGE OF HYDROSEED MIXTURE - PROPORTIONALLY,			
THE SEED	MIX SHALL BE ONE HALF (50%) OF THE HYDROSEEDING SLURRY.			
PERCENT	BY WT. SEED			
2.00%	ASCLEPIAS TUBEROSA			
0.20%	ASTER LAEVIS, NY ECOTYPE			
0.30%	ASTER NOVAE-ANGLIAE, PA ECOTYPE			
1.00%	ASTER OBLONGIFOLIUS, PA ECOTYPE			
3.00%	CHAMAECRISTA FASCICULATA, PA ECOTYPE			
15.00%	ELYMUS VIRGINICUS, 'MADISON'			
2.00%	HELIOPSIS HELIANTHOIDES, PA ECOTYPE			
0.50%	LESPEDEZA CAPITATA, RI ECOTYPE			
1.50%	LESPEDEZA VIRGINICA, VA ECOTYPE			
0.40%	MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE			
0.70%	OENOTHERA FRUTICOSA VAR. FRUTICOSA			
0.60%	PENSTEMON HIRSUTUS			
1.00%	PYCNANTHEMUM TENUIFOLIUM			
3.00%	RUDBECKIA HIRTA			
1.00%	RUDBECKIA TRILOBA, WV ECOTYPE			
63.70%	SCHIZACHYRIUM SCOPARIUM, 'CAMPER'			
2.00%	SENNA HEBECARPA, VA & WV ECOTYPE			
0.20%	SOLIDAGO JUNCEA, PA ECOTYPE			
0.50%	SOLIDAGO NEMORALIS, PA ECOTYPE			
0.40%	SPOROBOLUS CRYPTANDRUS			
1.00%	TRADESCANTIA OHIENSIS, PA ECOTYPE			
100.00%	TOTAL			
42.8 % GR	ASS BY SEED COUNT			
57.2 % WIL	LDFLOWER BY SEED COUNT SEED MIXTURE			

NAUÇ	KEY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING	ROOT	NATIVE
SHRUB	S					
10	HQ	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	36"-48" O.C.	CONTAINER	Υ
10	PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	36"-48" O.C.	CONTAINER	N

UNDE	RSTORY	PLANT SCHEDULE: PRVIATE OPEN SPACE-2 (POS-2) @ SOUTH FACE OF LOT 7, ROOSEVELT A	VENUE, , PARCI	EL 7	
QUAN	KEY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING	ROOT	NATIVE
SHRUE	S					
16	CR	CARYOPTERIS X CALDONENSIS ' DARK KNIGHT'	DARK KNIGHT BLUEBEARD	24"-36" O.C.	CONTAINER	Υ
27	COC	CEPHALANTUS OCCIDENTALIS	COMMON BUTTONBUSH	36"-48" O.C.	CONTAINER	Y
5	CL	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	36"-48" O.C.	CONTAINER	Υ
13	CSA	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE RED OSIER DOGWOOD	36"-48" O.C.	CONTAINER	Υ
16	CSB	CORNUS SERICEA 'BUDD'S YELLOW'	YELLOWTWIG DOGWOOD	36"-48" O.C.	CONTAINER	Υ
15	FA	FORSYTHIA 'ARNOLD DWARF'	ARNOLD DWARF FORSYTHIA	24"-36" O.C.	CONTAINER	Υ
20	FI	FORSYTHIA X INTERMEDIA	BORDER FORSYTHIA	36"-48" O.C.	CONTAINER	Υ
6	HI	HAMAMELIS X INTERMEDIA 'ARNOLD PROMISE'	ARNOLD PROMISE HYBRID WITCH HAZEL	36"-48" O.C.	CONTAINER	Υ
4	HQ	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	36"-48" O.C.	CONTAINER	Υ
10	IVJ	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	36"-48" O.C.	CONTAINER	Υ
5	IVR	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	36"-48" O.C.	CONTAINER	Υ
9	KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	36"-48" O.C.	CONTAINER	Υ
15	MP	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	36"-48" O.C.	CONTAINER	Υ
12	PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	36"-48" O.C.	CONTAINER	N
GRASS	ES AND	GROUNDCOVERS				
1125	CP	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	24"-36" O.C.	CONTAINER	Υ
767	LM	LIRIOPE MUSCARI	BLUE LILY TURF	12" O.C.	CONTAINER	N
450	PP	PACHYSANDRA PROCUMBENS	ALLEGHENY SPURGE	12" O.C.	CONTAINER	Υ
12	RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	24"-36" O.C.	CONTAINER	Υ
XX	WF MIX		WILD FLOWER MIX			Υ

		LANT SCHEDULE: PRVIATE OPEN SPACE-3		· · · · · · · · · · · · · · · · · · ·		T
QUAN	KEY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING	ROOT	NATIVE
SHRUE	3S					
2	CL	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	36"-48" O.C.	CONTAINER	Y
6	COC	CEPHALANTUS OCCIDENTALIS	COMMON BUTTONBUSH	36"-48" O.C.	CONTAINER	Υ
6	IG	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	36"-48" O.C.	CONTAINER	Y
10	IT	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	36"-48" O.C.	CONTAINER	Υ
3	MP	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	36"-48" O.C.	CONTAINER	Y
1	RC	ROSA CAROLINA	PASTURE ROSE	36"-48" O.C.	CONTAINER	Υ
12	SJ	SKIMMIA JAPONICA	JAPANESE SKIMMIA	30"-36" O.C.	CONTAINER	Y
3	VA	VIRBURNUM ACERIFOLIUM	MAPLELEAF VIBURNUM	36"-48" O.C.	CONTAINER	Υ
5	VR	VIRBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	36"-48" O.C.	CONTAINER	Υ
GRASS	SES AND G	ROUNDCOVERS				
189	LM	LIRIOPE MUSCARI	BLUE LILY TURF	12" O.C.	CONTAINER	Υ
XX	WF MIX		WILD FLOWER MIX			Υ

NAUÇ	KEY	BOTANICAL NAME	COMMON NAME	SIZE/SPACING	ROOT	NATIVE
SHRUB	S			·		•
11	COC	CEPHALANTUS OCCIDENTALIS	COMMON BUTTONBUSH	36"-48" O.C.	CONTAINER	Y
23	SJ	SKIMMIA JAPONICA	JAPANESE SKIMMIA	30"-36" O.C.	CONTAINER	Y
2	MP	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	36"-48" O.C.	CONTAINER	Υ
3	RC	ROSA CAROLINA	PASTURE ROSE	36"-48" O.C.	CONTAINER	Y
11	VR	VIRBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	36"-48" O.C.	CONTAINER	Y

* QUANTITIES FOR PARCEL 5 ARE PROVIDED FOR 'FINAL BUILD OUT' REFERENCE ONLY AND ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT.

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9

> 39-08 JANET PLACE FLUSHING, NY 11354

DEVELOPER

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C.

12 MERCER ST. NEW YORK, NY 10013

TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER

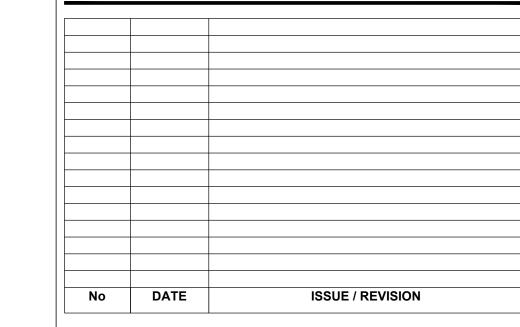
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

Abel Bainnson
LANDSCAPE ARCH

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.



PROJEC



UNDERSTORY PLANTING SCHEDULES

ORIENTATION	SCALE 1	" = 20'-0"
SEAL & SIGNATURE	DATE:	03/24/23
	PROJECT No.:	-
	DRAWING BY:	AD
	CHK BY:	JB
	DWG No.:	
	ı	404 00
	L-	401.00

MAJOR TREES



ACER SACCHARINUM SUGAR MAPLE



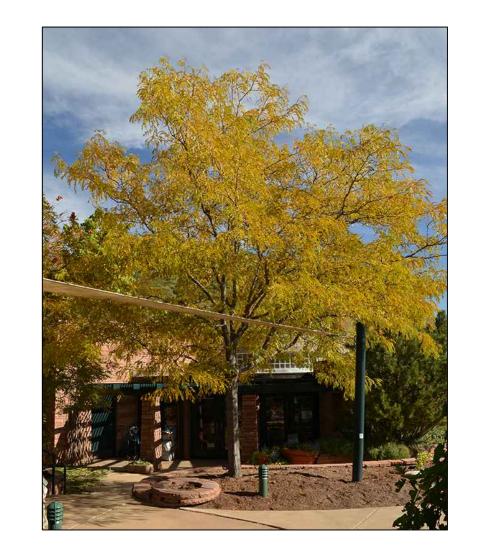
CERCIDIPHYLLUM JAPONICA KATSURA TREE



CRYPTOMERIA JAPONICA 'YOSHINO' YOSHINO JAPANESE CEDAR



GINGKO BILOBA 'PRINCETON SENTRY'
PRINCETON SENTRY COLUMNAR GINGKO



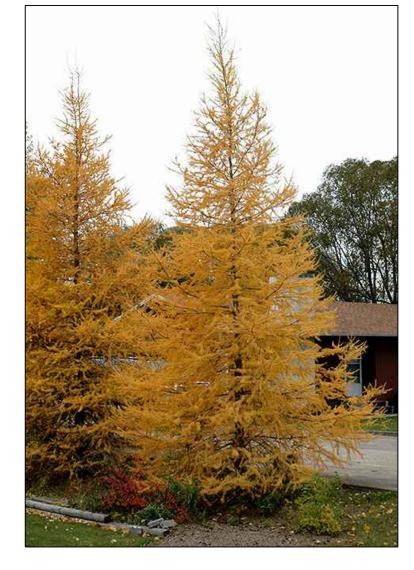
GLEDITSIA TRIACANTHOS VAR. INERMIS 'HALKA' THORNLESS HONEYLOCUST



GYMNOCLADUS DIOICUS KENTUCKY COFFEETREE



JUNIPERUS VIRGINIANA EASTERN RED CEDAR



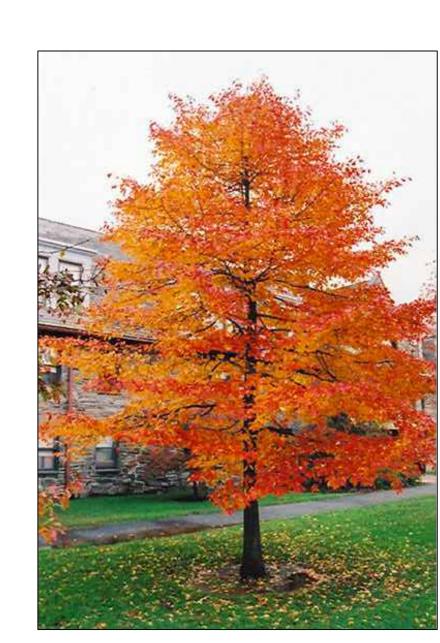
LARIX LARICINA TAMARACK



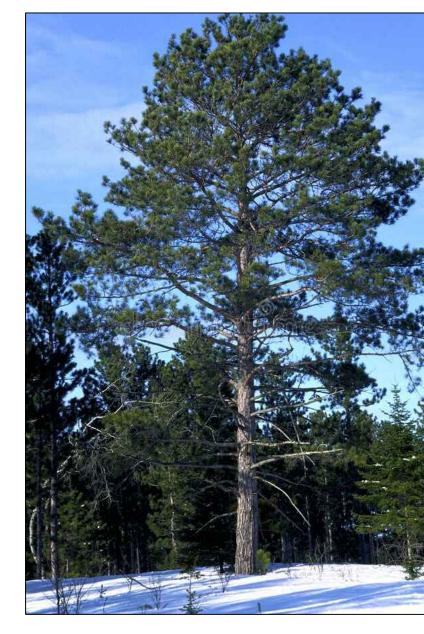
LIQUIDAMBAR STYRACLIFLUA 'ROTUNDILOBA' FRUITLESS SWEETGUM



LIRIODENDRON TULIPIFERA TULIP TREE



NYSSA SYLVATICA BLACK GUM



PINUS RESINOSA RED PINE



POPULUS TREMULOIDES QUAKING ASPEN



QUERCUS BICOLOR
SWAMP WHITE OAK
QUERCUS PHELLOS
WILLOW OAK



TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLE-LEAF LINDEN

MINOR TREES



AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE SERVICEBERRY



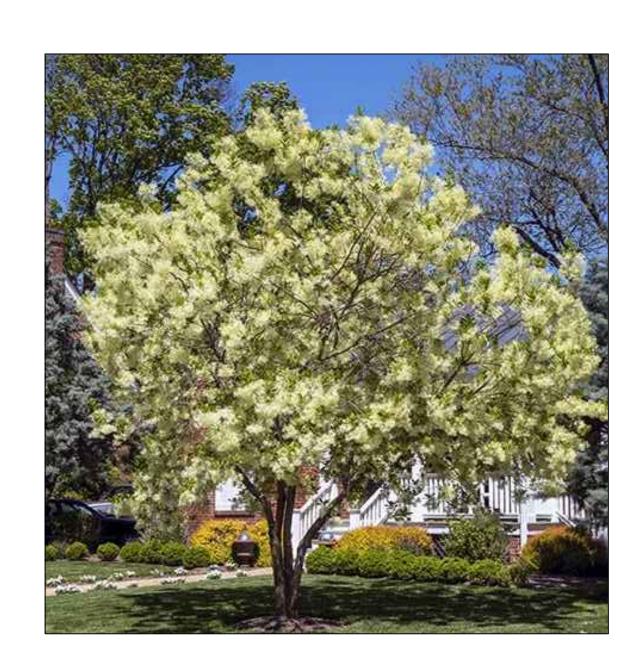
AMELANCHIER LAEVIS ALLEGHENY SERVICEBERRY



BETULA LENTA SWEET BIRCH



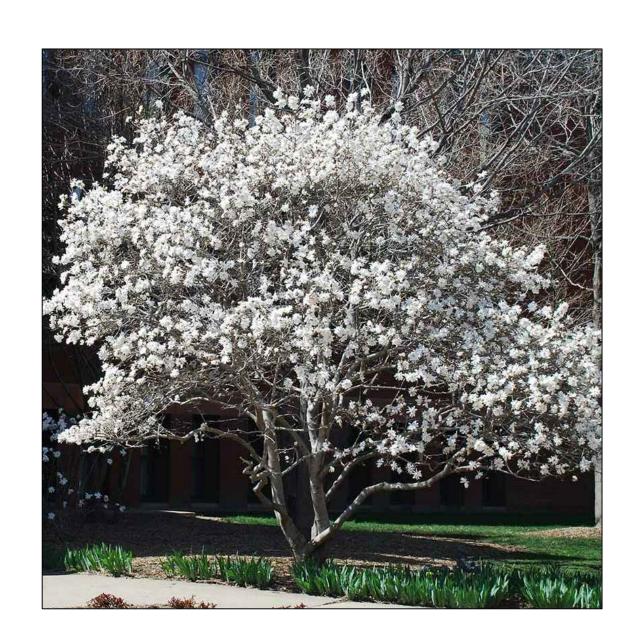
BETULA NIGRA 'HERITAGE' HERITAGE RIVER BIRCH



CHIONANTHUS VIRGINICUS WHITE FRINGE TREE



CONTINUS OBOVATUS AMERICAN SMOKETREE



MAGNOLIA STELLATA STAR MAGNOLIA

NOT FOR CONSTRUCTION

SPECIAL FLUSHING

WATERFRONT DISTRICT

PARCEL 7, SUBDISTRICT B

LOTS 7,8,9

39-08 JANET PLACE

FLUSHING, NY 11354

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

DEVELOPER

THE UNITED GROUP

CORONA, NY 11368

LANDSCAPE ARCHITECT

112-15 NORTHERN BLVD, #2

ABEL BAINNSON BUTZ, LLP

80 EIGHTH AVE. SUITE 1105

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C.

12 MERCER ST. NEW YORK, NY 10013

TEL 212 941-6800 WWW.PPAARCHITECTS.COM

NEW YORK, NY 10025

CIVIL ENGINEER

LANGAN ENGINEERING &

NEW YORK, NY 10001

ENVIRONMENTAL SERVICES

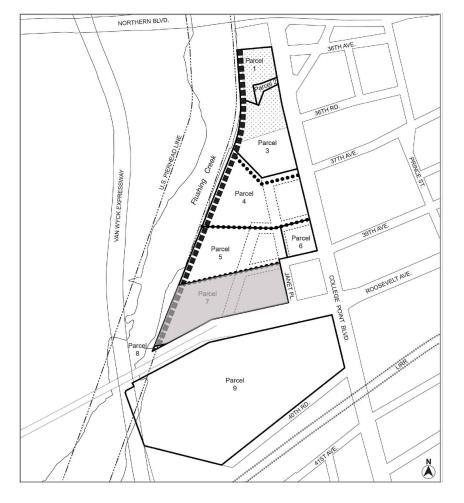
21 PENN PLAZA 360 W.31ST ST.

TEL 212 479 5400 WWW.LANGAN.COM

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No	DATE	ISSUE / REVISION

PROJECT



PLANTING IMAGES I

ORIENTATION	SCALE	
SEAL & SIGNATURE	DATE:	03/24/23
	PROJECT No.:	-
	DRAWING BY:	AD
	CHK BY:	JB
	DWG No.:	
	L-	402.0
	SHEET No.:	16 of 35

SHRUBS



CARYOPTERIS X CALDONENSIS DARK KNIGHT BLUEBEARD



CEPHALANTHUS OCCIDENTALIS BUTTONBUSH



CLETHRA ALNIFOLIA 'HUMMINGBIRD' DWARF SWEET PEPPERBUSH



CORNUS SERICEA 'ARTIC FIRE' 'ARTIC FIRE' RED OSIER DOGWOOD



CORNUS SERICEA 'BUD'S YELLOW' 'BUD'S YELLOW' TWIG DOGWOOD



FORSYTHIA ' ARNOLD DWARF' ARNOLD DWARF FORSYTHIA



FORSYTHIAX INTERMEDIA BORDER FORSYTHIA



HAMAMELIS X INTERMEDIA 'ARNOLD PROMISE' HYBRID WITCH HAZEL



HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA



ILEX GLABRA 'SHAMROCK'



ILEX VERTICILLATA 'JIM DANDY' 'SHAMROCK' INKBERRY HOLLY 'JIM DANDY' WINTERBERRY HOLLY



ILEX VERTICILLATA 'RED SPRITE' 'RED SPRITE' WINTERBERRY HOLLY



ITEA VIRGINICA VIRGINIA SWEETSPIRE



MYRICA PENSYLVANICA NORTHERN BAYBERRY



PRUNUS LAUROCERASUS 'OTTO LUYKEN' CHERRY LAUREL



SKIMMIA JAPONICA JAPANESE SKIMMIA



VIBURNUM ACERFOLIUM MAPLELEAF VIBURNUM



VIBURNUM CARLESI KOREANSPICE VIBURNUM



VIBURNUM RHYTIDOPHYLLUM LEATHERLEAF VIBURNUM

GROUNDCOVERS, GRASSES, PERENNIALS



CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS



CAREX PENSYLVANICA PENNSYLVANIA SEDGE



CONTONEASTER DAMMERI BEARBERRY CONTONEASTER



LIRIOPE MUSCARI **BLUE LILY TURF**



PACHYSANDRA PROCUMBENS ALLEGHENY SPURGE



PANICUM VIRGATUM SWITCHGRASS



PENNISETUM ALOPECUROIDES FOUNTAIN GRASS



RHUS AROMATICA 'GRO-LOW' FRAGRANT SUMAC

SHORELINE/ REVETMENT PLANTINGS



IVA FRUTESCENS MARSH ELDER



PANICUM VIRGATUM SWITCHGRASS



PARTHENOCISSUS QUINQUEFOLILA VIRGINIA CREEPER



SCHIZACHYRIUM SCOPARIUI LITTLE BLUESTEM (FORB)



SOLIDAGO SEMPERVIRONS SEASIDE GOLDENROD



NEW YORK ASTER



ROSA CAROLINA PASTURE ROSE

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9

> 39-08 JANET PLACE FLUSHING, NY 11354

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

LANDSCAPE ARCHITECT ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105

NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM

LANGAN ENGINEERING & **ENVIRONMENTAL SERVICES** 21 PENN PLAZA 360 W.31ST ST. NEW YORK, NY 10001

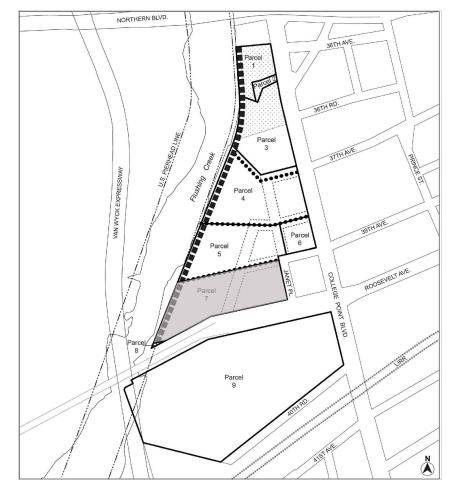
TEL 212 479 5400 WWW.LANGAN.COM

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

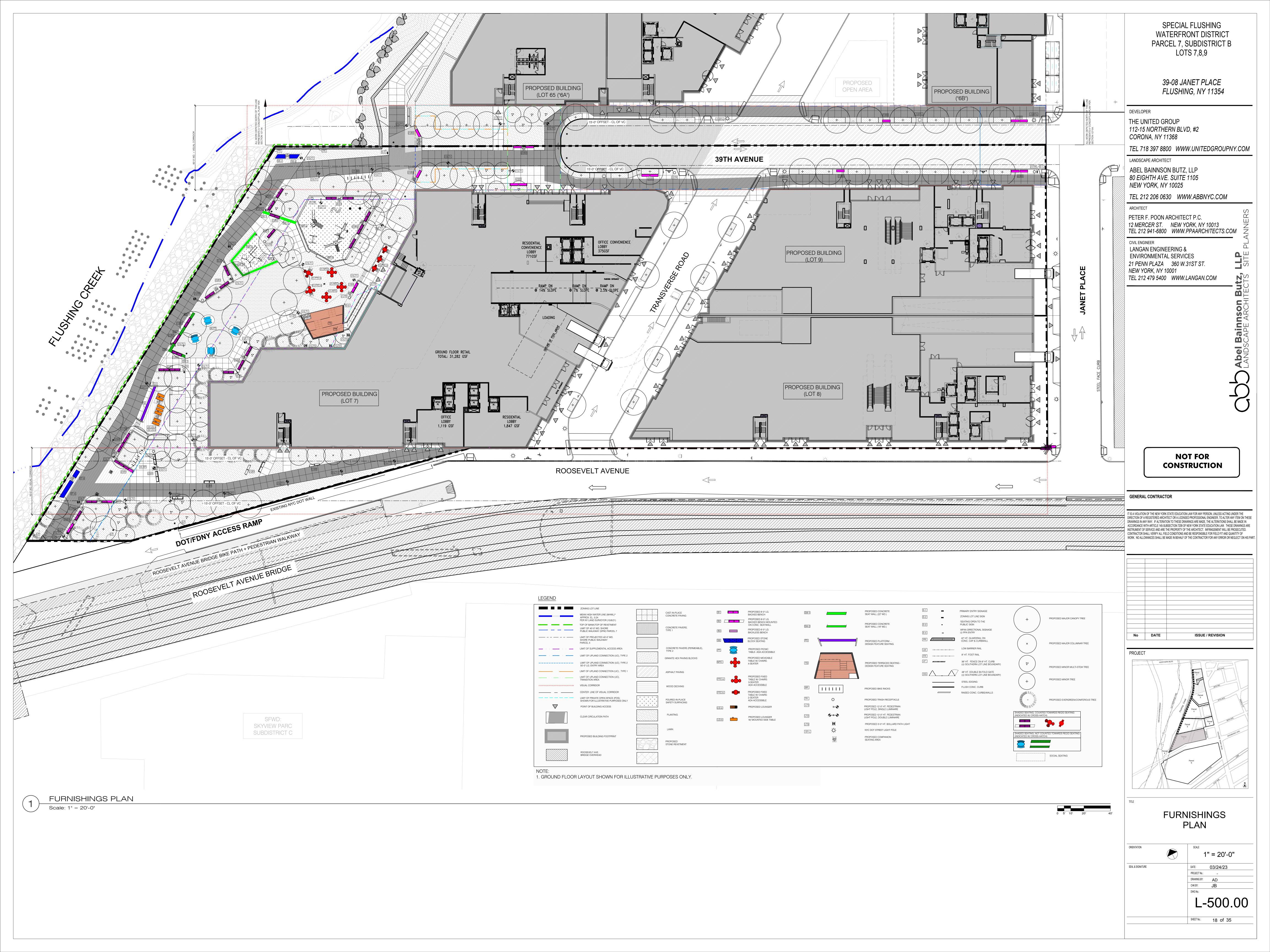
DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No	DATE	ISSUE / REVISION



PLANTING **IMAGES II**

SEAL & SIGNATURE	DATE: 03/24/23
	PROJECT No.:
	DRAWING BY: AD
	CHK BY: JB
	DWG No.:
	L-403.00
	SHEET No.: 17 of 35



KEY	SYMBOL	SITE FURNISHING TYPE	REQUIRED SEATING: 1 LF PER 75 SF OF SPW/SPAA (30,268 SF) = 404 LF REQ'D. (ONLY 101 LF OR 25 % OF DESIGN FEATURE SEATING ALLOWABLE) TOTAL QUANTITY IN SPW+SPAA PROVIDED: 422 LF	QUANTITY PER SPW TOTAL QUANTITY IN SPW: 275.17 LF	QUANTITY PER SPPA TOTAL QUANTITY IN SPPA: 146.83 LF	BACKED SEATING: MIN. 50% OF REQ'D SEATING = 202 LF REQ'D. TOTAL QUANTITY IN SPW+SPAA PROVIDED: 252.25 LF	BACKED SEATING W/ WATER-FACING ORIENTATION: MIN. 50% OF REQ'D BACKED SEATING = 101 LF REQ'D. TOTAL QUANTITY IN SPW+SPAA PROVIDED: 169.25 LF	SOCIAL SEATING: MIN. 25% OF REQ'D SEATING = 101 LF REQ'D. TOTAL QUANTITY IN SPW+SPAA PROVIDED: 400.25 LF	SHADED SEATING: MIN. 20% OF REQ'D SEATING = 80.80 LF REQ'D. TOTAL QUANTITY IN SPW+SPAA PROVIDED: 175 LF	FINISH	IMAGE	DETAIL
B1		8'-0" LG. STANDARD SITE BENCH W/BACK W/ (2) EXTERNAL ARMRESTS AND W/ (1) INTERMEDIATE ARMREST, SURFACE-MOUNTED. 7.25 LF CLEAR SEATING LENGTH BETWEEN ARMRESTS.	25 EA (181.25 LF)	18 EA (130.50 LF)	7 EA (50.75 LF)	BACKED (181.25 LF)	17 EA (123.25 LF) (10) EA - SPW (7) EA - SPPA	24 EA (174.00 LF)	2 EA @ 3.25 LF (6.5 LF)	WOOD FINISH: THERMALLY-MODIFIED ASH. SOLID ALUMINUM FRAME AND ARMRESTS.		SEE L-802.00 FOR DETAILS
B2		8'-0" LG. STANDARD SITE BENCH W/BACK W/ (2) EXTERNAL ARMRESTS AND W/ (1) INTERMEDIATE ARMREST, MOUNTED TO CONCRETE SEAT WALL. 7.25 LF CLEAR SEATING LENGTH BETWEEN ARMRESTS.	4 EA (29.0 LF)	4 EA (29.0 LF)	0.0 LF	BACKED (29 LF)	2 EA (14.50 LF)	2 EA (14.50 LF)	<i>□ 100000</i> 4 EA (29 LF)	WOOD FINISH: THERMALLY-MODIFIED ASH. SOLID ALUMINUM FRAME AND ARMRESTS.		SEE L-802.00 FOR DETAILS
SB-a		DOUBLE-SIDED STONE BLOCK SEATING 36" WD. (MIN.) 19" HT. +/- (NOT TO EXCEED 20" HT.) X 15'-0" LG. (WEST FACING) X 13'-11" LG. (EAST FACING)	1 EA (28.92 LF)	1 EA (28.92 LF)	0.0 LF	BACKLESS	_	1 EA (28.92 LF)	SEATING NOT SHADED			SEE L-802.00 FOR DETAILS
SB-b		DOUBLE-SIDED STONE BLOCK SEATING 36" WD. (MIN.) 19" HT. +/- (NOT TO EXCEED 20" HT.) X 5'-9" LG. (WEST FACING) X 5'-9" LG. (EAST FACING)	1 EA (11.50 LF)	1 EA (11.50 LF)	0.0 LF	BACKLESS	_	1 EA (11.50 LF)	SEATING NOT SHADED	SARATOGA GRANITE FROM CHAMPLAIN STONE. NATURAL CLEFT FINISH ON TOP,	Line II Torres	
6B-c		DOUBLE-SIDED STONE BLOCK SEATING 36" WD. (MIN.) 19" HT. +/- (NOT TO EXCEED 20" HT.) X 5'-10" LG. (NORTH FACING) X 7'-9" LG. (SOUTH FACING)	1 EA (13.58 LF)	1 EA (13.58 LF)	0.0 LF	BACKLESS	_	1 EA (13.58 LF)	SEATING NOT SHADED	SIDES, AND ENDS. BLOCKS W/ INTERMEDIATE EDGS TO HAVE SMOOTH FINISH STONE BLOCKS TO BE SAWN CUT ON BASE FOR SMOOTH FINISH AND STABILIZED SEATING CONDITION.		
SB-d		DOUBLE-SIDED STONE BLOCK SEATING 36" WD. (MIN.) 19" HT. +/- (NOT TO EXCEED 20" HT.) X 7-9" LG. (NORTH FACING) X 5'-9" LG. (SOUTH FACING)	1 EA (13.50 LF)	1 EA (13.50 LF)	0.0 LF	BACKLESS	_	1 EA (13.50 LF)	SEATING NOT SHADED			
1TC		MOVEABLE TABLE + CHAIRS 4-SEATER EACH SEAT CALCULATED AS 1.5 LF OF SEATING. TABLE: 42" Ø TABLE FOR 9.62 SF OF TABLE REQUIEMENT FOR (3) TABLES = 28.86 SF.*	12 EA (18.0 LF)	0.0 LF	12 EA (18.0 LF)	BACKED (12 LF)	6 EA (9 LF)	12 EA (18.0 LF)	SEATING NOT SHADED	HOOP SEATS, W/ STEEL WIRE GRID, POWDER-COATED. CANTENA TABLE, POWDER-COATED STEEL. TABLE/CHAIR ENSEMBLE IS MOVEABLE. COLOR FINISH: TBD.		SEE L-803.00 FOR DETAILS
TC-a		MOVEABLE TABLE + CHAIRS 3-SEATER EACH SEAT CALCULATED AS 1.5 LF OF SEATING. TABLE: 42" Ø TABLE FOR 9.62 SF OF TABLE REQUIREMENT FOR (2) TABLES = 19.24 SF.*	6 EA (9.0 LF)	0.0 LF	6 EA (9.0 LF)	BACKED (9 LF)	1 EA (1.5 LF)	6 EA (9 LF)	SEATING NOT SHADED	HOOP SEATS, W/ STEEL WIRE GRID, POWDER-COATED. CANTENA TABLE, POWDER-COATED STEEL. SURFACE-MOUNTED. TABLE IS ADA ACCESSIBLE. COLOR FINISH: TBD.		SEE L-803.00 FOR DETAILS
TC-b		MOVEABLE TABLE + CHAIRS 2-SEATER EACH SEAT CALCULATED AS 1.5 LF OF SEATING. TABLE: 42" Ø TABLE FOR 9.62 SF OF TABLE REQUIREMENT FOR (3) TABLES = 28.86 SF.*	6 EA (9.0 LF)	0.0 LF	6 EA (9.0 LF)	BACKLESS	_	6 EA (9 LF)	6 EA (9 LF)	BACKLESS SEATS, W/ STEEL WIRE GRID, POWDER-COATED. CANTENA TABLE, POWDER-COATED STEEL. SEATS AND TABLE TO BE EMBDEDED IN FOOTINGS. TABLE IS ADA ACCESSIBLE. COLOR FINISH: TBD.		SEE L-803.00 FOR DETAILS
G-a		LOUNGER, TYPE 1 CALCULATED AS 3.0 LF EA.	4 EA (12.0 LF)	4 EA (12.0 LF)	0.0 LF	BACKED (12 LF)	4 EA (12 LF)	4 EA (12 LF)	SEATING NOT SHADED	THERMALLY-MODIFED ASH WOOD SLATS W/POWDER-COATED STEEL FRAME. COLOR FINISH: TBD.		SEE L-803.00 FOR DETAILS
G-b	<u>~</u>	LOUNGER TYPE 2, W/MOUNTED SIDE TABLE CALCULATED AS 3.0 LF EA.	3 EA (9.0 LF)	3 EA (9.0 LF)	0.0 LF	BACKED (9 LF)	3 EA (9 LF)	3 EA (9 LF)	SEATING NOT SHADED	THERMALLY-MODIFED ASH WOOD SLATS W/POWDER-COATED STEEL FRAME W/POWDER-COATEDMOUNTED STEEL TABLE. COLOR FINIISHES: TBD.		SEE L-803.00 FOR DETAILS
PS		DESIGN FEATURE SEATING**: PLATFORM SEATING: 20" DP. X 18" HT. X 27'-2" LG.	27.17 LF	27.17 LF	0.0 LF	BACKLESS	_	27.17 LF	SEATING NOT SHADED	WOOD (KEBONY) DECKING; CONCRETE CHEEKWALLS AND FOUNDATION.		SEE L-804.00 FOR DETAILS
TS		DESIGN FEATURE SEATING**: TERRACED SEATING 20" DP. X 16" HT. 60" LG.	60.08 LF	0.0 LF	60.08 LF	BACKLESS	_	60.08 LF	SEATING NOT SHADED	WOOD (KEBONY) DECKING; CONCRETE CHEEKWALLS AND FOUNDATION.		SEE L-804.00 FOR DETAILS

^{*} TOTAL TABLE AREA IN WPAA = 76.96

** DESIGN FEATURE SEATING, INCLUDING 'PLATFORM SEATING' AND 'TERRACED SEATING' CONSTITUTE 87.25 LF OR 21.5% OF REQUIRED SEATING.

ADDITIONAL SEATING AT WATERFRONT: SPW + SPAA (SHOWN BUT NOT COUNTED)

PT	PICNIC TABLE SURFACE-MOUNTED SEATING: 18" HT. X 12" WD. 4'-5" LG. (4.42 LF) EACH SIDE 8.84 LF TOTAL EA. PICNIC TABLE EACH TABLE 14 SF = 56 LF	4 EA @ 8.84 LF EA (35.36 LF)	20.77 LF	14.59 LF	BACKLESS	_ 4 EA (3	5.36 LF) 13.29 LF	PERFORATED STEEL SEAT PANELS. STEEL/ALUMINUM TABLE TOP. POWDER-COATED STEEL. TABLE IS ADA ACCESSIBLE. COLOR FINISH: TBD.	SEE L-803.00 FOR DETAILS	
SW1	ADDITIONAL DESIGN FEATURE SEATING: CONCRETE SEATWALL, TYPE 1: 22" DP. X 16"-17" HT. LENGTH VARIES: 18.25 LF @ CHILDREN'S PLAY AREA 24.25 LF @ PICNIC GROVE 42.50 LF TOTAL	42.50 LF	38.50 LF	4.0 LF	BACKLESS	_ 42.	24.25 LF	CAST-IN-PLACE CONCRETE SEATWALLS W/ 1" MIN. RADIUS ROUNDED BULLNOSE	SEE L-802.00 FOR DETAILS	5
SW2	ADDITIONAL DESIGN FEATURE SEATING: CONCRETE SEATWALL, TYPE 1: 16" DP. X 16"-18" HT. INSIDE FACE OF SEATWALL FACING ADULT FITNESS EQUIPMENT ONLY: 67.33	67.33 LF	55.83 LF	11.50 LF	BACKLESS	_	.33 LF 16.75 LF	CAST-IN-PLACE CONCRETE SEATWALLS W/ 1" MIN. RADIUS ROUNDED BULLNOSE	SEE L-802.00 FOR DETAILS	

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B

> 39-08 JANET PLACE FLUSHING, NY 11354

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

LANDSCAPE ARCHITECT

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER LANGAN ENGINEERING & ENVIRONMENTAL SERVICES 21 PENN PLAZA 360 W.31ST ST. NEW YORK, NY 10001 TEL 212 479 5400 WWW.LANGAN.COM

> **NOT FOR CONSTRUCTION**

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.



FURNISHINGS SCHEDULE I

ORIENTATION	SCALE
SEAL & SIGNATURE	DATE: 03/24/23
	PROJECT No.: _
	DRAWING BY: AD
	CHK BY: JB
	DWG No.:
	L-501.00
	SHEET No.: 19 of 35

OTHER FURNISHINGS - WATERFRONT: SPW + SPAA

KEY	SYMBOL	SITE FURNISHING TYPE	QUANTITY REQ'D	TOTAL QUANTITY PROVIDED IN WPAA	DESCRIPTION	FINISH	IMAGE	DETAIL
BR	‡	BIKE RACK	26 EA	26 EA	1.5" Ø ROUND (2'-4" WD. X 2'-6" HT.) STAINLESS STEEL TUBE. SURFACE MOUNTED W/ ANCHOR BOLTS.	STAINLESS STEEL		SEE L-805.00 FOR DETAILS
TR	0	TRASH RECEPTACLE	1 EA (PER EVERY 4000 SF OF WPAA)	8 EA	22" Ø X 3'-4" HT., 39 GALS. POWDER-COATED STEEL, SURFACE-MOUNTED.	POWDER-COATED STEEL. COLOR FINISH: TBD		SEE L-805.00 FOR DETAILS
LT1	□	12'-0" HT. PEDESTRIAN LIGHT POLE	AS REQ'D FOR 1 FC MIN. ILLIMINATION ON PATH & .2 FC W/IN WPAA	21 EA	12'-0" HT. PEDESTRIAN AREA LIGHT POLE, SINGLE LUMINAIRE	CAST ALUMINUM LED CARTRIDGE W/ POWDER-COATED ROUND STEEL POLE. COLOR FINISH: MERCURY		SEE L-805.00 FOR DETAILS
LT3	≥	3'-0" HT. BOLLARD PATH LIGHT	AS REQ'D FOR 1 FC MIN. ILLIMINATION ON PATH & .2 FC W/IN WPAA	3 EA	3'-0" HT. BOLLARD PATH LIGHT	CAST ALUMINUM LED CARTRIDGE W/ POWDER-COATED ROUND STEEL POLE. COLOR FINISH: MERCURY		SEE L-805.00 FOR DETAILS
S-1	=	PRIMARY ENTRY SIGNAGE	1 EA (@ SOUTHERN ENTRY FROM PPA	1 EA	1'-4" LG. X 5'-0" HT. X 2" THK. ON 1'-8" LG. X 8" WD. BASEPLATE	STAINLESS STEEL		SEE L-806.00 FOR DETAILS
S-2	-	ZONING LOT LINE SIGN	2 EA (@ SOUTHERN + NORTHERN LOT LINES ALONG SPW	2 EA	1'-4" LG. X 3'-0" HT. X 3/8" THK.	STAINLESS STEEL		SEE L-806.00 FOR DETAILS
S-3	-	'SEATING OPEN TO THE PUBLIC' SIGN	@ VARIOUS INTERVALS ALONG PRIMARY + SECONDARY PATHS	4 EA	8" LG. X 18" HT. X 3/8" THK.	STAINLESS STEEL		SEE L-806.00 FOR DETAILS
PR	-0-0-0-0-	42" HT. GUARDRAIL ON CONC. CAP & CURBWALL	N/A	80 LF	42" HT.	STAINLESS STEEL		SEE L-801.00 FOR DETAILS
LB		LOW BARRIER RAIL @ CHILDREN'S PLAY AREA FRONTAGE	N/A	48 LF	24" HT.	STAINLESS STEEL		SEE L-801.00 FOR DETAILS
FR		FOOT RAIL @ TOP LEVEL OF TERRACED SEATING (WHEELCHAIR PROTECTION)	N/A	18.5 LF	8" HT.	STAINLESS STEEL		SEE L-801.00 FOR DETAILS

UPLAND CONNECTION (UC) SITE FURNISHINGS:

KEY	SYMBOL	SITE FURNISHING TYPE	QUANTITY REQ'D. FOR INTERIM CONDITION (PARCEL 7 SCOPE ONLY)	QUANTITY REQ'D. FOR FOR PARCEL 5 SCOPE AT FINAL BUILD-OUT	TOTAL QUANTITY FOR WPAA (PARCEL 7 + FUTURE PARCEL 5)	DESCRIPTION	FINISH	IMAGE	DETAIL
B3		BENCH	UC TYPE 2 ENTRY AREA: 12 LF UC TRANSITION AREA: 12 LF UC TYPE 1+ 2 NON-EXCLUDED AREAS (SEE COMPLIANCE CHART SECTION 62-64 (d) FOR CALCULATIONS: (24 LF PROVIDED)	UC TYPE 2 ENTRY AREA: 12 LF UC TRANSITION AREA: 12 LF UC TYPE 1+ 2 NON-EXCLUDED AREAS (SEE COMPLIANCE CHART SECTION 62-64 (d) FOR CALCULATIONS: (21 LF TO BE PROVIDED)	UC TYPE 2 ENTRY AREA: 24 LF UC TRANSITION AREA: 21 LF UC TYPE 1+ 2 NON-EXCLUDED AREAS: 45 LF	6'-0" LG. STANDARD BACKLESS BENCH, NO ARMRESTS, SURFACE-MOUNTED. AND/OR OTHER SEATING TYPE, PENDING PARCEL 5 DESIGN.	WOOD FINISH: THERMALLY-MODIFIED ASH. SOLID ALUMINUM FRAME.		SEE L-802.00 FOR DETAILS
TR	0	TRASH RECEPTACLE	(1) AT ENTRY TO UC AT JANET PLACE (1) AT WEST SIDE OF INTERSECTION OF TRANSVERSE RD. & 39TH AVE. (1) AT ENTRY TO ENTRY TO SPW FROM UC	NO ADDITIONAL TRASH RECEPTACLES REQUIRED ALONG PARCEL 5 UPLAND CONNECTION.	(3) TOTAL	22" Ø X 3'-4" HT., 39 GALS. POWDER-COATED STEEL, SURFACE-MOUNTED. COLOR FINISH: TBD	POWDER-COATED STEEL.		SEE L-805.00 FOR DETAILS
LT1	□ - (12'-0" HT. PEDESTRIAN LIGHT POLE, SINGLE LUMINAIRE	(2) IN UC TYPE 1 + TRANSITION AREA AS REQ'D FOR 1 FC MIN. ILLUMINATION ON PATH & .2 FC W/IN WPAA	(1) IN UC TRANSITION AREA AS REQ'D FOR 1 FC MIN. ILLUMINATION ON PATH & .2 FC W/IN WPAA	(3) IN UC TYPE 1 + TRANSITION AREA AS REQ'D FOR 1 FC MIN.ILLUMINATION ON PATH & .2 FC W/IN WPAA	12'-0" HT. PEDESTRIAN AREA LIGHT POLE, SINGLE LUMINAIRE	CAST ALUMINUM LED CARTRIDGE W/ POWDER-COATED ROUND STEEL POLE. COLOR FINSIH: MERCURY		SEE L-805.00 FOR DETAILS
ST-L	\(\frac{\dagger}{\dagger}\)	STREET LIGHTING	2 EA (PER LANGAN ENGINEERING + NYC DOT APPROVAL)	3 EA (PER LANGAN ENGINEERING + NYC DOT APPROVAL)	5 EA (PER LANGAN ENGINEERING + NYC DOT APPROVAL)	32'-0" HT. W. 8'-0" LG. ARM FOR LUMINAIRE	FABRICATED STEEL POLE, BLACK.		SEE L-805.00 FOR DETAILS
S-1	=	PRIMARY ENTRY SIGNAGE	1 EA @ ENTRY TO WPAA AT JANET PLACE UPLAND CONNECTION	NONE REQUIRED.	1 EA	1'-4" LG. X 5'-0" HT. X 2" THK. ON 1'-8" LG. X 8" WD. BASEPLATE	STAINLESS STEEL		SEE L-806.00 FOR DETAILS

1. UPLAND CONNECTION IS 487.17 LF .

PRIVATE OPEN SPACE, AREA 2 (POS-2), @ ROOSEVELT AVE., SITE FURNISHINGS:

KEY	SYMBOL	SITE FURNISHING TYPE	QUANTITY REQ'D	TOTAL QUANTITY PROVIDED IN WPAA	DESCRIPTION/FINISHES	IMAGE	DETAIL
B1		8'-0" LG. STANDARD SITE BENCH W/BACK W/ (2) EXTERNAL ARMRESTS AND W/ (1) INTERMEDIATE ARMREST, SURFACE-MOUNTED. 7.25 LF CLEAR SEATING LENGTH BETWEEN ARMRESTS.	N/A	5 EA (36.25 LF)	WOOD FINISH: THERMALLY-MODIFIED ASH. SOLID ALUMINUM FRAME AND ARMRESTS.		SEE L-802.00 FOR DETAILS
TR	0	TRASH RECEPTACLE	N/A	1 EA	22" Ø X 3'-4" HT., 39 GALS. POWDER-COATED STEEL, SURFACE-MOUNTED. COLOR FINISH: TBD		SEE L-805.00 FOR DETAILS
LT1	⊕	12'-0" HT. PEDESTRIAN AREA LIGHT POLE, SINGLE LUMINAIRE	AS REQ'D FOR 1 FC MIN. ILLIMINATION ON PATH & .2 FC W/IN WPAA	5 EA	CAST ALUMINUM LED CARTRIDGE W/ POWDER-COATED ROUND STEEL POLE. COLOR FINISH: MERCURY.		SEE L-805.00 FOR DETAILS
LT2	• • •	12'-0" HT. PEDESTRIAN AREA LIGHT POLE, DOUBLE LUMINAIRE	AS REQ'D FOR 1 FC MIN. ILLIMINATION ON PATH & .2 FC W/IN WPAA	2 EA	CAST ALUMINUM LED CARTRIDGE W/ POWDER-COATED ROUND STEEL POLE. COLOR FINISH: MERCURY.		SEE L-805.00 FOR DETAILS
S-4	-	WPAA DIRECTIONAL SIGNAGE @ PPA ENTRY	1 EA @ EASTERN ENTRY POINT TO PPA FROM PUBLIC SIDEWALK AT ROOSEVELT AVE.	1 EA	1'-3" LG. X 4'-2"HT. X 3/8" THK. STAINLESS STEEL		SEE L-806.00 FOR DETAILS

PRIVATE OPEN SPACE, AREA 4 (POS-4), @ PARCEL 5 UPLAND CONNECTION AREA, SITE FURNISHINGS:

LT1	G 💮	12'-0" HT. PEDESTRIAN AREA LIGHT POLE, SINGLE LUMINAIRE	AS REQ'D FOR 1 FC MIN. ILLIMINATION ON PATH & .2 FC W/IN WPAA	. = 4	CAST ALUMINUM LED CARTRIDGE W/ POWDER-COATED ROUND STEEL POLE. COLOR FINISH: MERCURY.		SEE L-805.00 FOR DETAILS
-----	-----	------------------------------------------------------------	---------------------------------------------------------------------------	-------	---------------------------------------------------------------------------------------------	--	-----------------------------

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9

39-08 JANET PLACE FLUSHING, NY 11354

DEVELOPE

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C.

12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER

LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

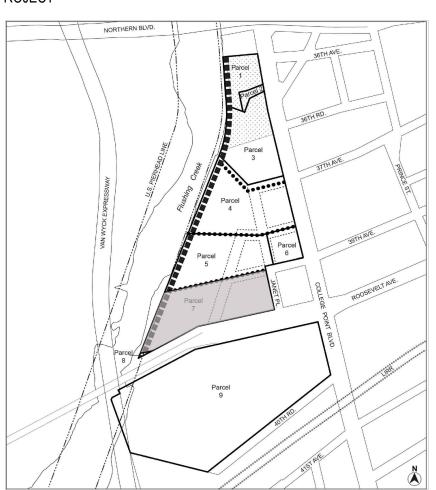
NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No	DATE	ISSUE / REVISION

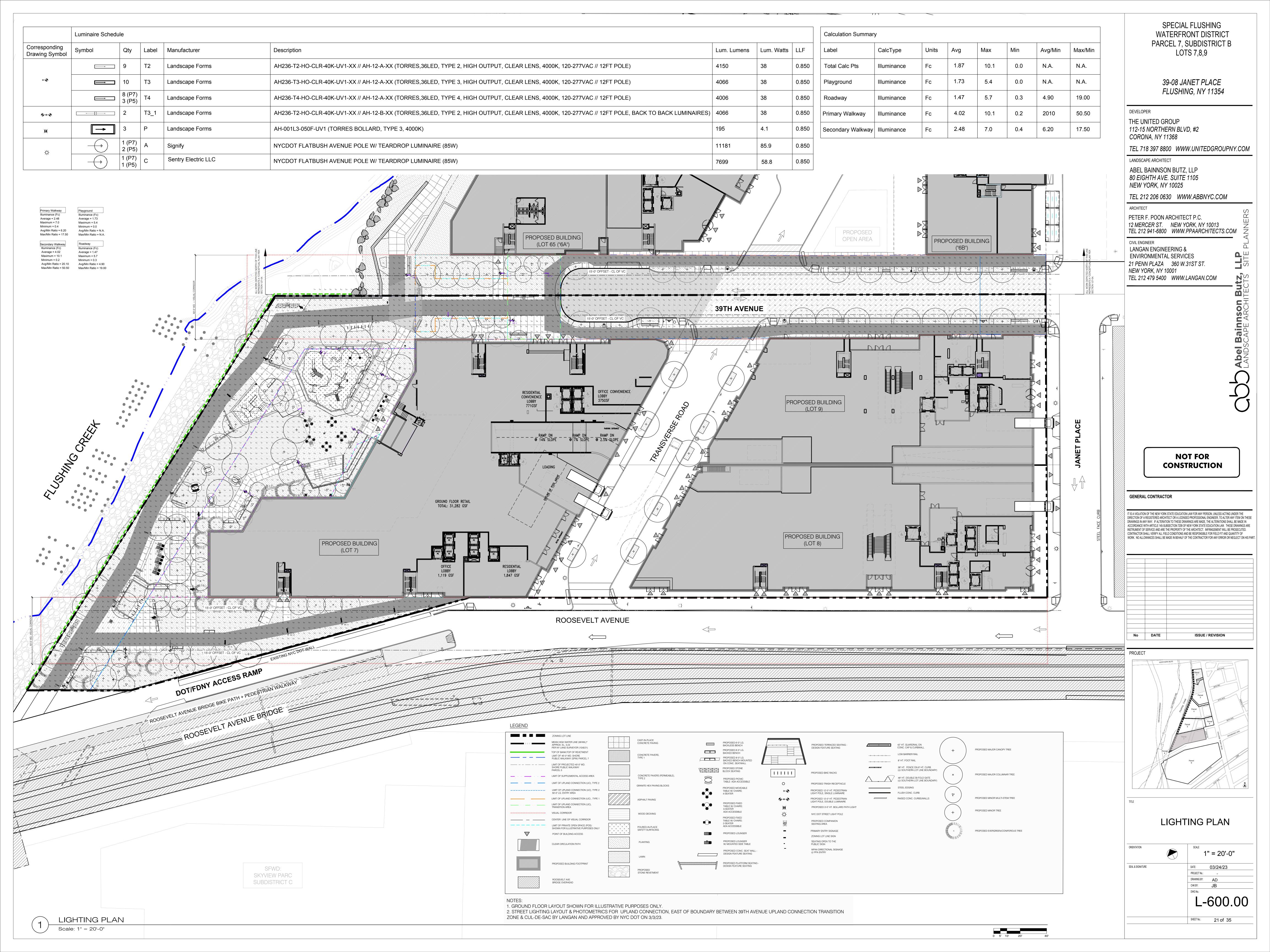
PROJECT

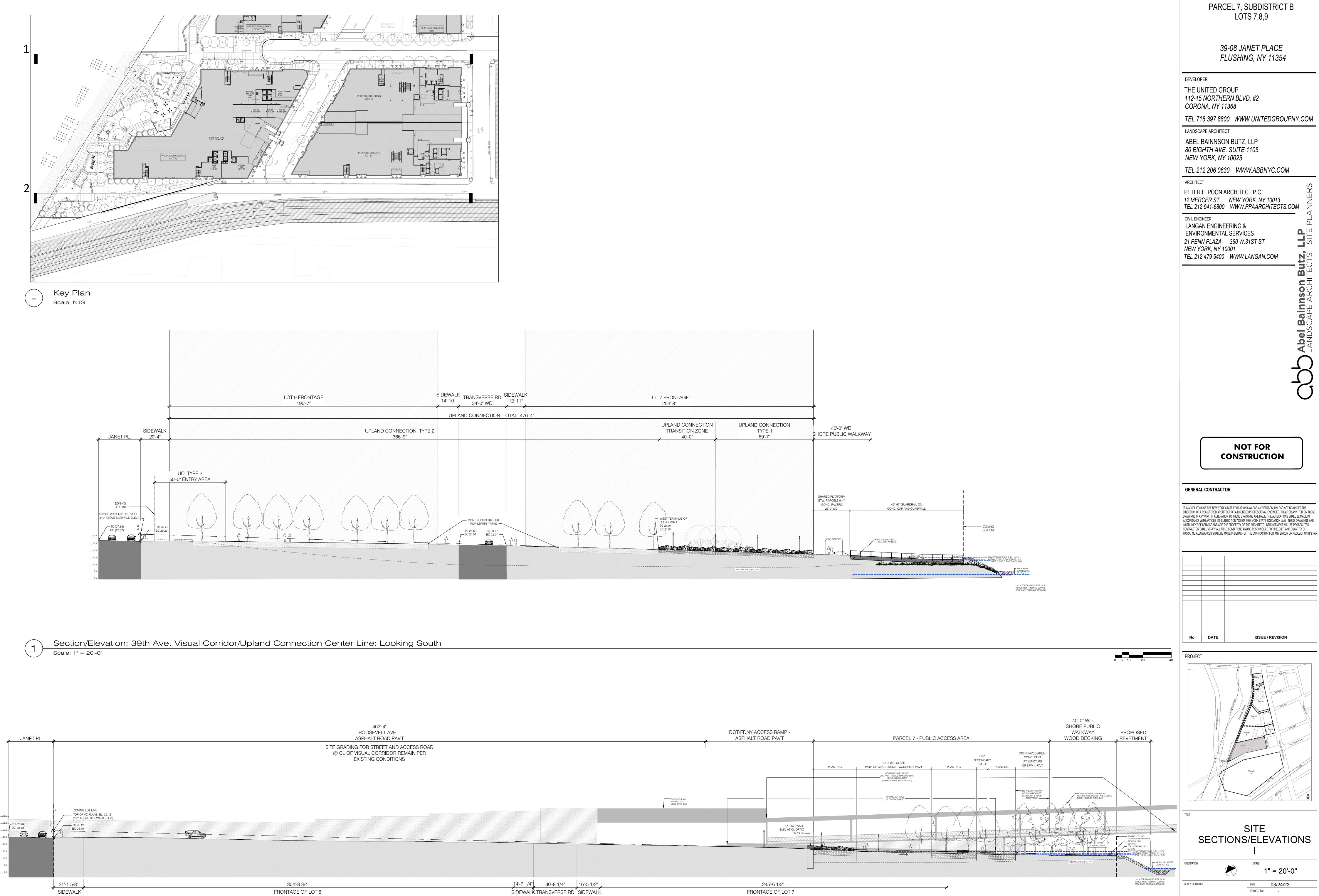


FURNISHINGS SCHEDULE II

ORIENTATION	SCALE
SEAL & SIGNATURE	DATE: 03/24/23
	PROJECT No.:
	DRAWING BY: AD
	CHK BY: JB
	DWG No.:
	L-502.00
	SHEET No.: 20 of 35

^{2.} LINEAR FEET OF UPLAND CONNECTION, MINUS EXCLUDED AREAS INCLUDING 50'-0" LG. UC TYPE 2 ENTRY AREA AND 40'-0" LG. TRANSITION AREA = 397.17 LF. 3. 397.17/12 LF OF SEATING = 33 LF OF REQ'D SEATING FOR REMAINDER OF UC, IN THE FINAL BUILD OUT.





21'-1 5/8" SIDEWALK

304'-8 3/4" FRONTAGE OF LOT 8

Section/Elevation: Roosevelt Ave. Visual Corridor Center Line, Looking South

PROPOSED DEVELOPMENT - NORTH SIDE OF ROOSEVELT AVE.

245'-6 1/2"

FRONTAGE OF LOT 7

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B

39-08 JANET PLACE

PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM

> **NOT FOR CONSTRUCTION**

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED.

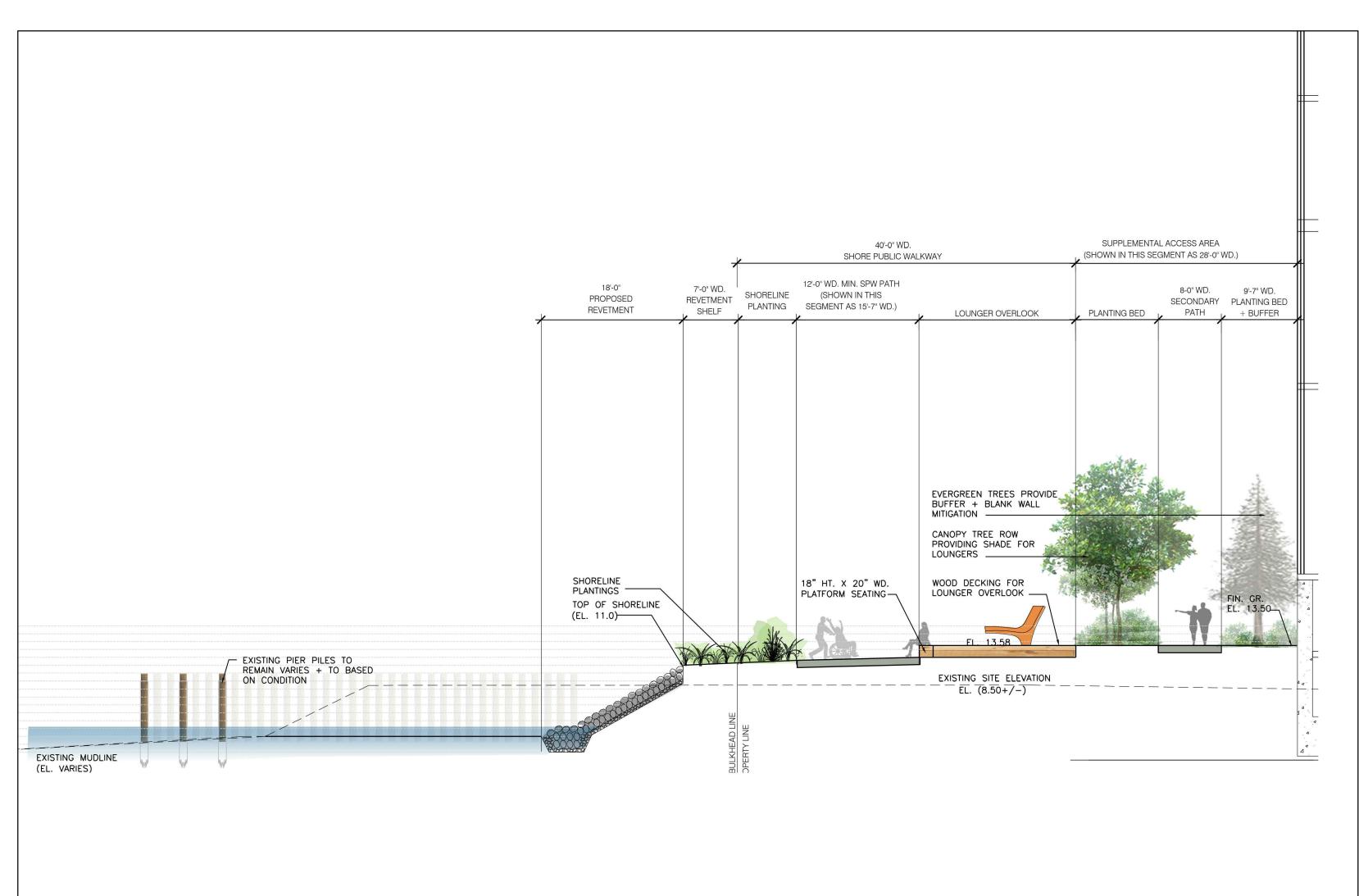
ISSUE / REVISION

SITE SECTIONS/ELEVATIONS

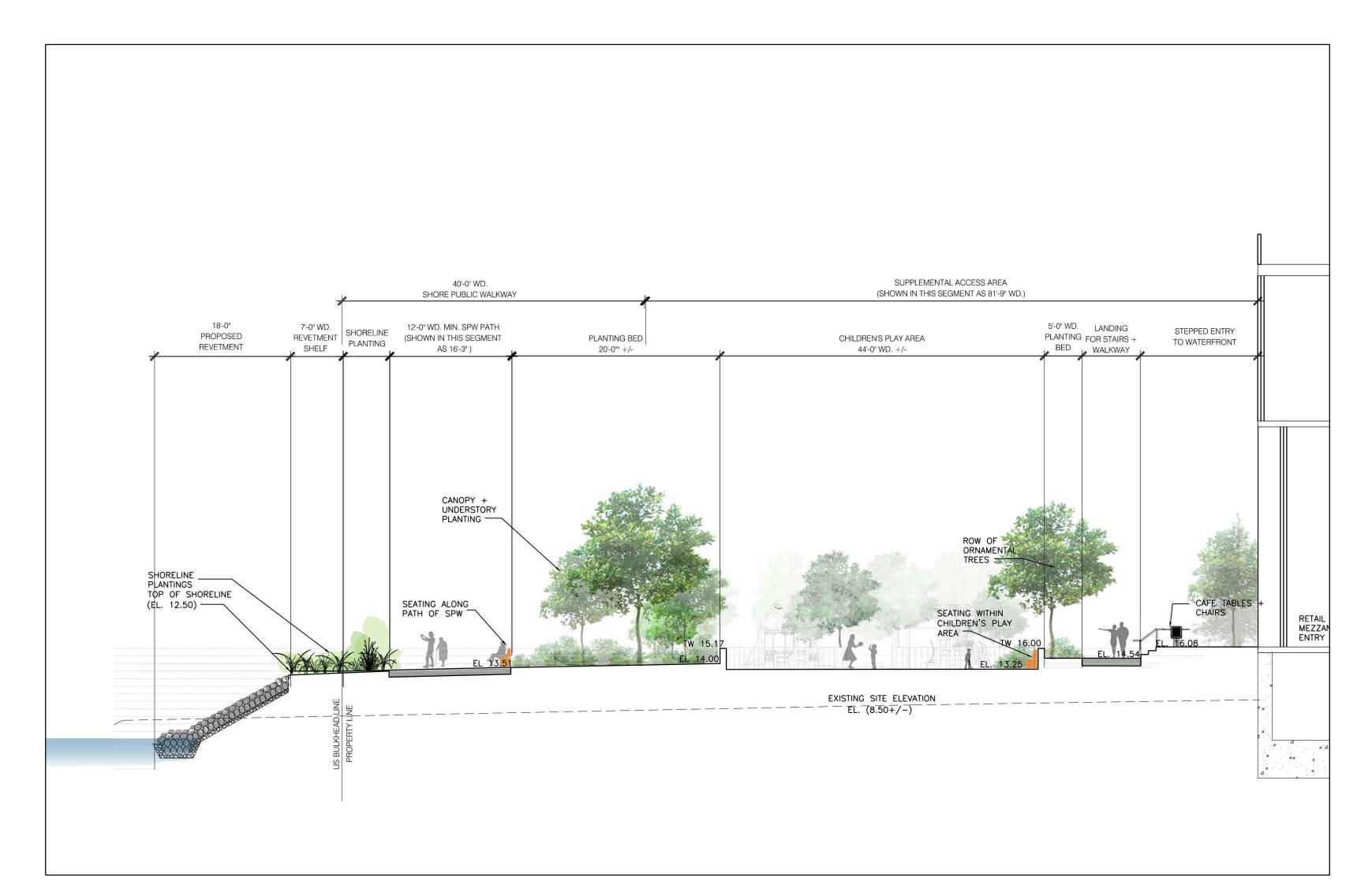
1" = 20'-0" PROJECT No.: CHK BY: L-700.00

SHEET No.: 22 of 35

NOTES: TREES ARE SHOWN IN BACKGROUND ELEVATION ONLY. THERE ARE NO CANOPY TREES PLANTED WITHIN 15-0° OF THE CENTERLINE OF THE VISUAL CORRIDOR.

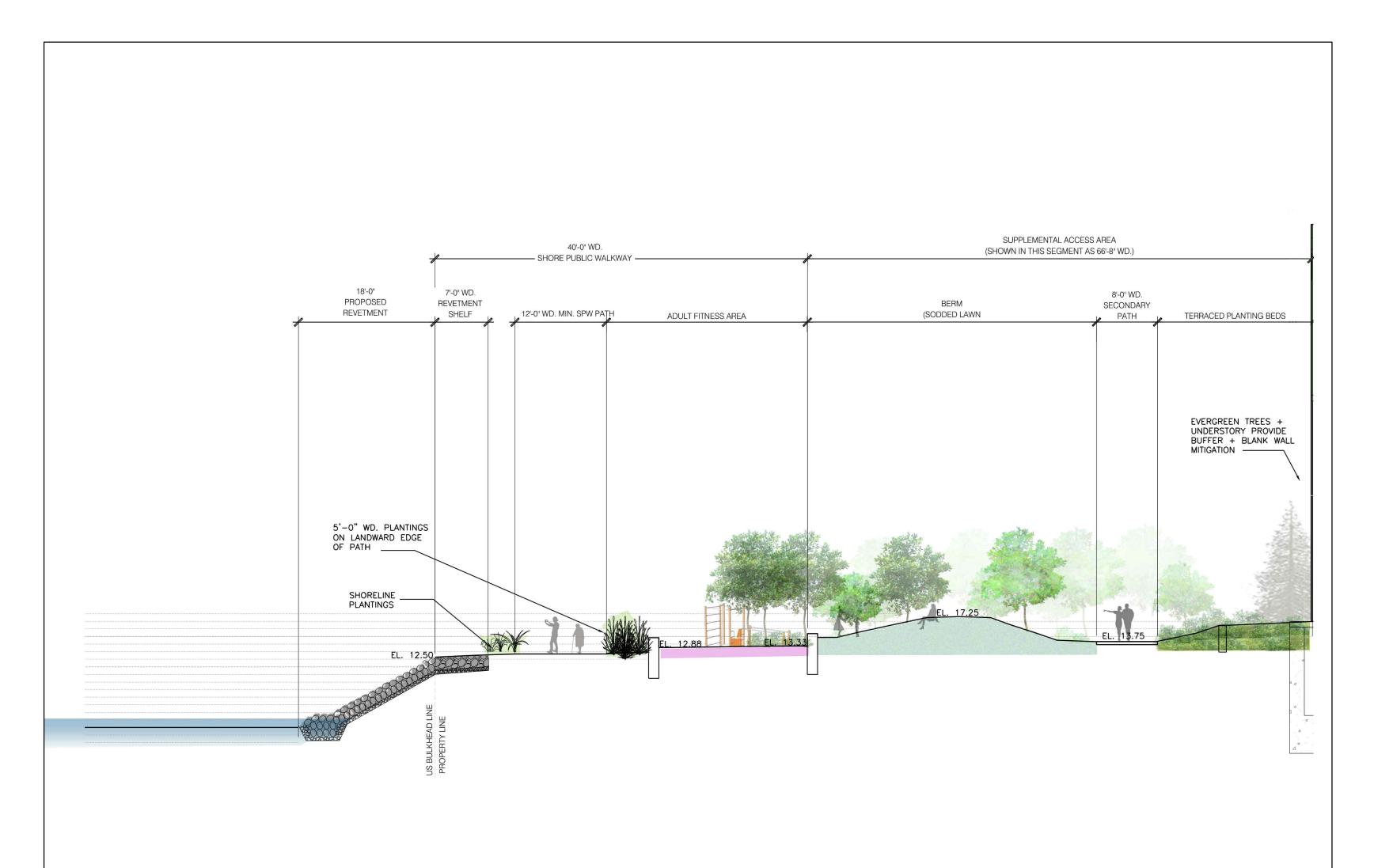






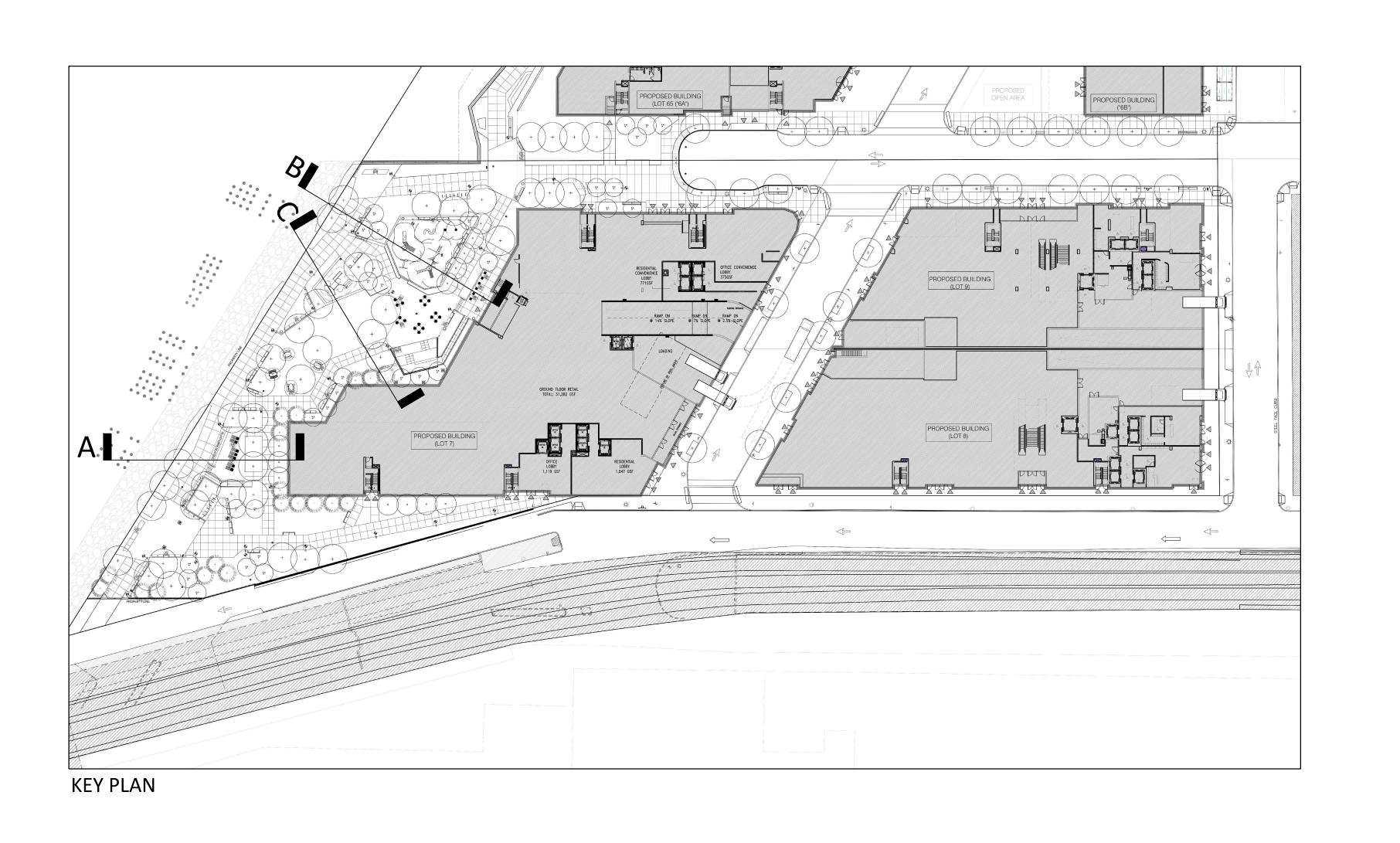
Section/Elevation: Shore Public Walkway to Children's Play Area + Mezzanine Terrace

Scale: 1" = 10'-0"



Section/Elevation: Shore Public Walkway to Adult Fitness Area, Bermed Lawn, + Terraced Planting

| Scale: 1" = 10'-0"



> 39-08 JANET PLACE FLUSHING, NY 11354

DEVELO

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C.

12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

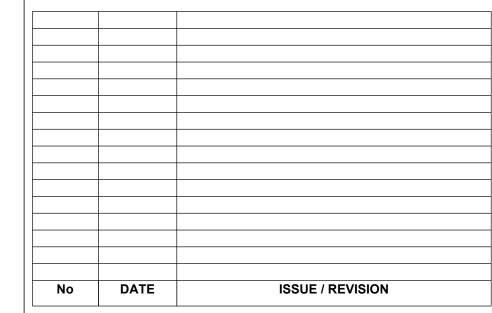
CIVIL ENGINEER

LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.



Parcel

SITE SECTIONS/ELEVATIONS

ORIENTATION

SCALE

1" = 20'-0"

DATE: 03/24/23

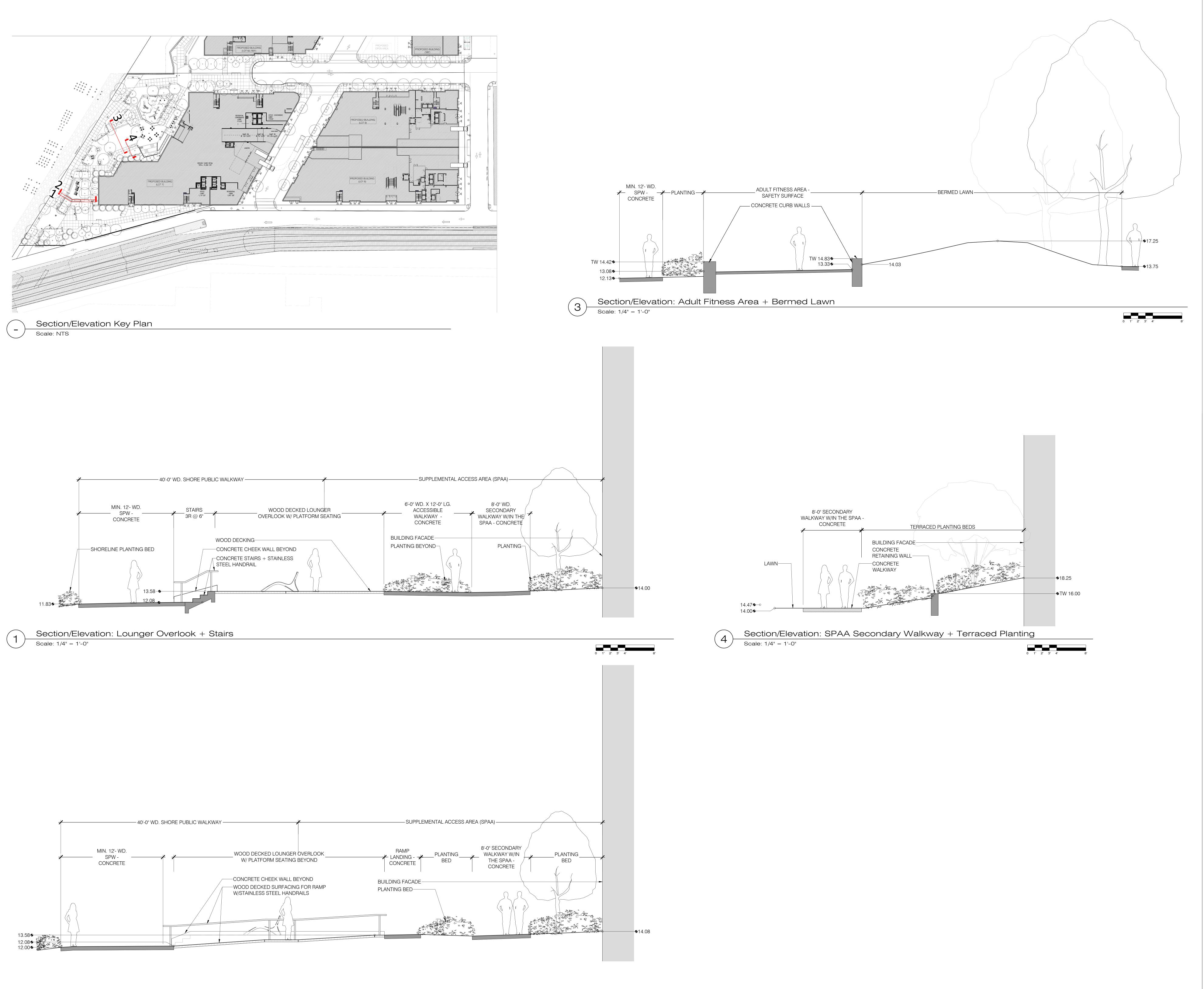
PROJECT No.:
DRAWING BY: AD

CHK BY: JB

DWG No.:

L-701.00

SHEET No.: 23 of 35



0 1' 2' 3' 4' 8'

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9

> 39-08 JANET PLACE FLUSHING, NY 11354

DEVELOPER

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C.

12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER

LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

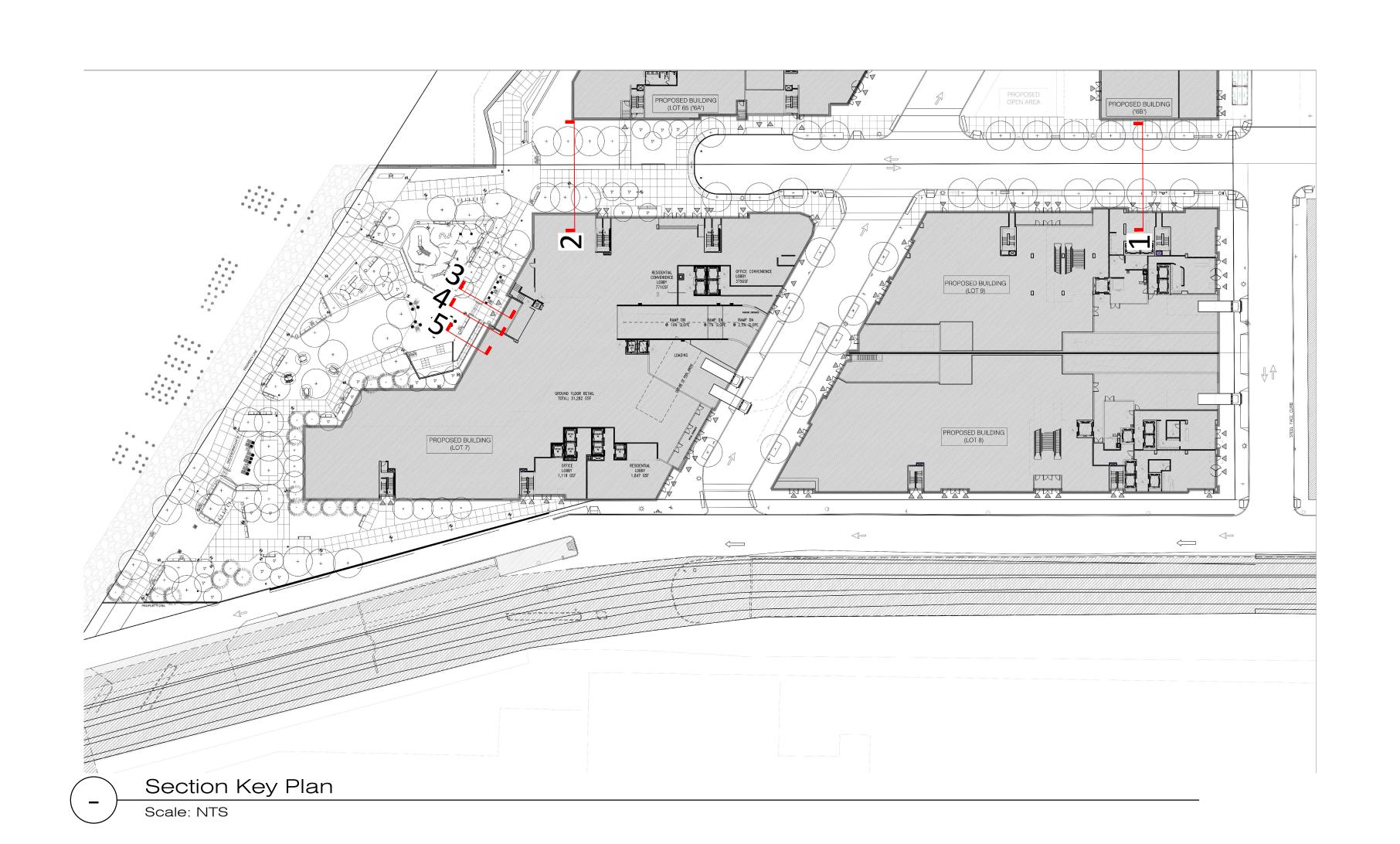
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

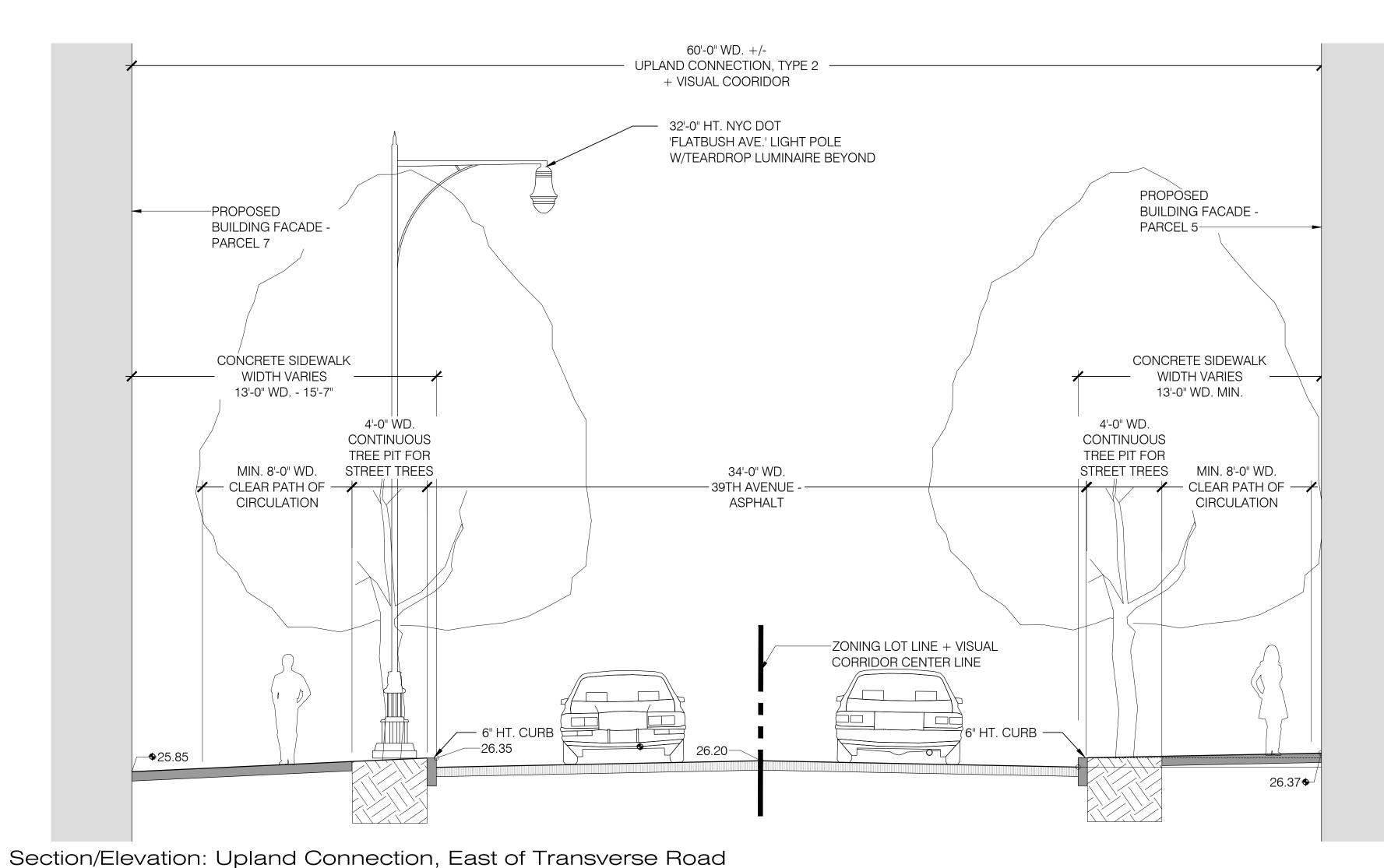
No DATE ISSUE / REVISION

PROJI



SITE SECTIONS/ELEVATIONS



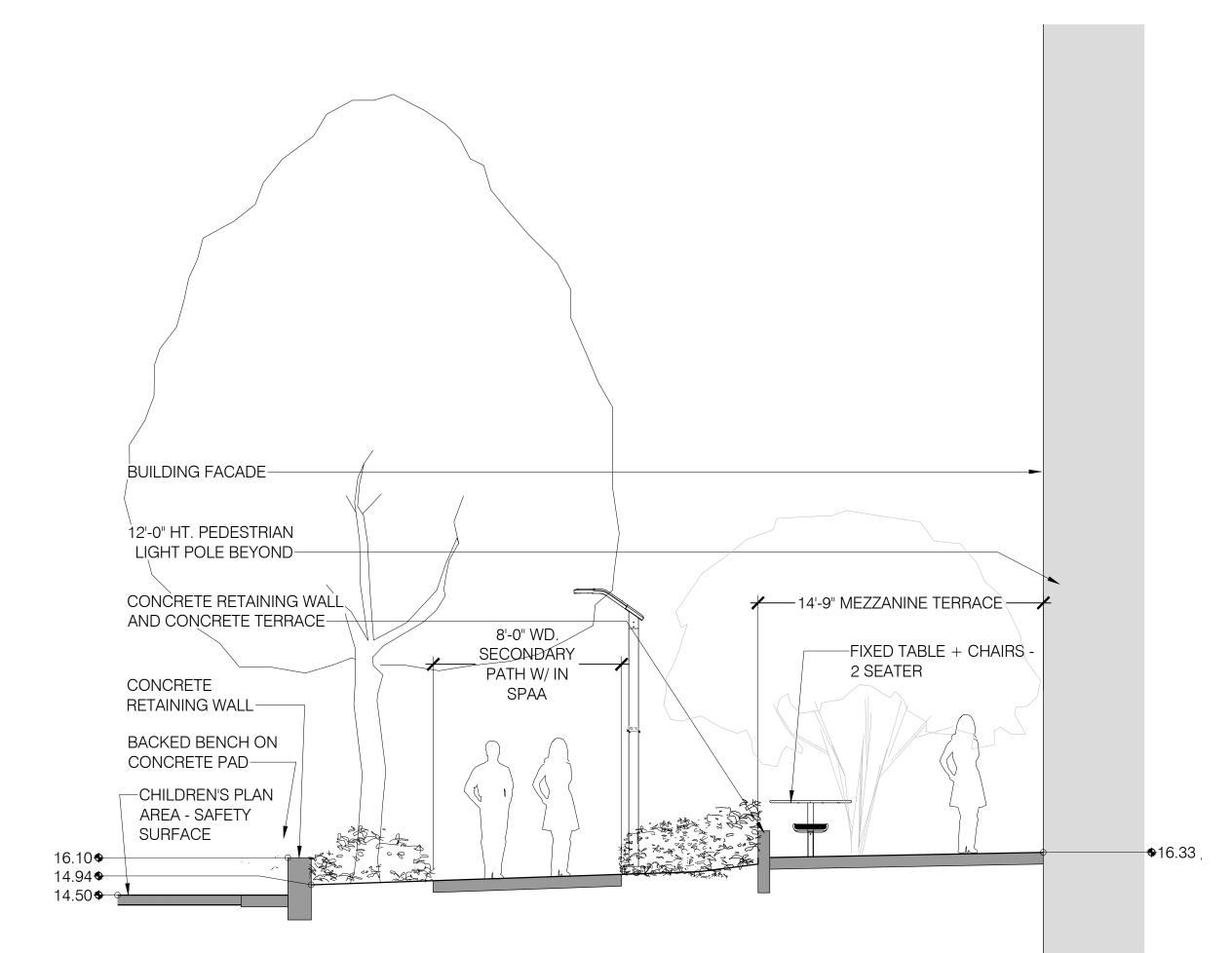


63'-6 WD. - UPLAND CONNECTION TYPE 1 + VISUAL CORRIDOR PLANTING BED CANOPY TREES, SHRUBS, & GROUNDCOVERS PLANTING BED CANOPY TREES, SHRUBS, & GROUNDCOVERS PARCEL 5 PORTION OF UPLAND —
CONNECTION, TYPE 1 PARCEL 7 PORTION OF UPLAND CONNECTION, TYPE 1 12'-0" CLEAR PATH OF CIRCULATION & --EMERGENCY VEHICLE LANE

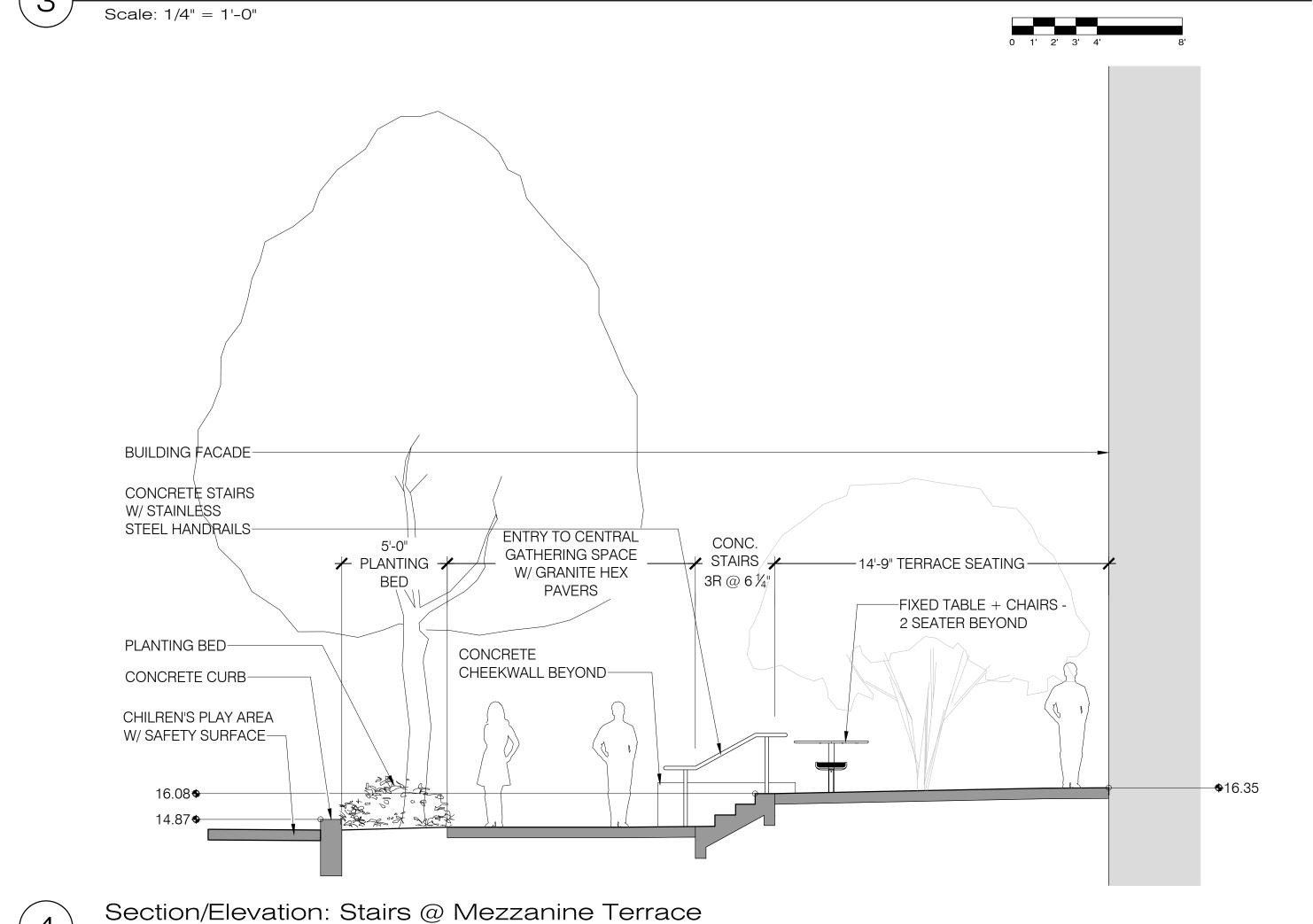
PROPOSED BUILDING FACADE -PARCEL 5— -PROPERTY LINE/ PEDESTRIAN LIGHT POLE, TYP. VISUAL CORRIDOR —BUILDING FACADE PLANTING BED TOWARDS BLANK CENTERLINE PARCEL 7 WALL MITIGATION— —CONCRETE PAVING **→**−19.63 19.20—❖

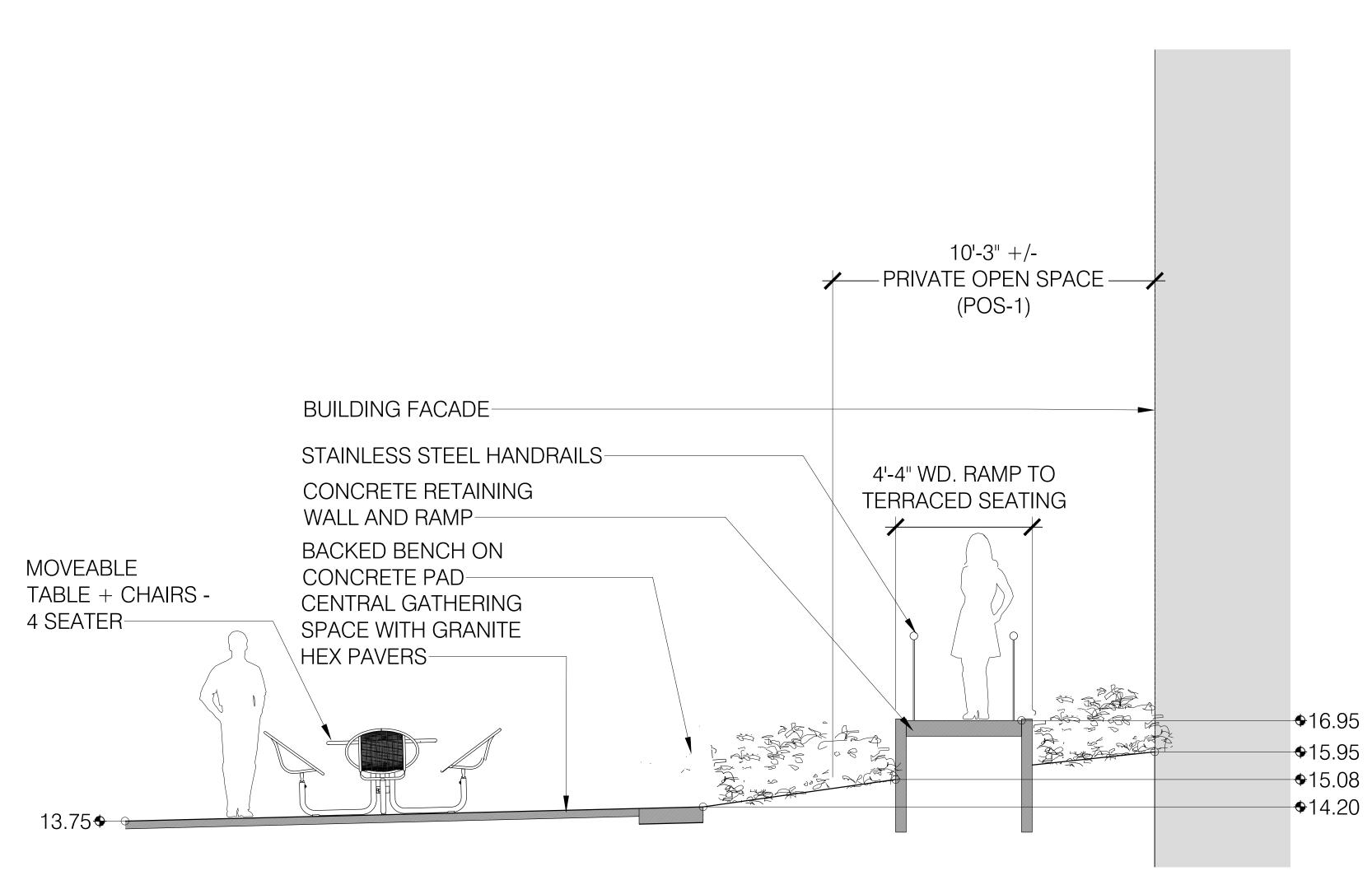
Section/Elevation: Upland Connection, West of Transverse Road

Scale: 1/4" = 1'-0"



Section/Elevation: Mezzanine Terrace to Children's Play Area





Section/Elevation: SPAA Central Terrace Scale: 1/4" = 1'-0"

0 1' 2' 3' 4' 8

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9

> 39-08 JANET PLACE FLUSHING, NY 11354

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

LANDSCAPE ARCHITECT ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105

NEW YORK, NY 10025 TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM

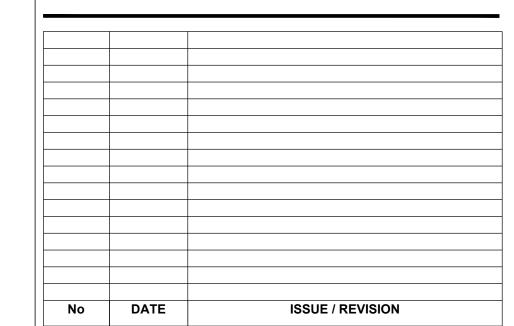
CIVIL ENGINEER LANGAN ENGINEERING & **ENVIRONMENTAL SERVICES** 21 PENN PLAZA 360 W.31ST ST. NEW YORK, NY 10001 TEL 212 479 5400 WWW.LANGAN.COM

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF

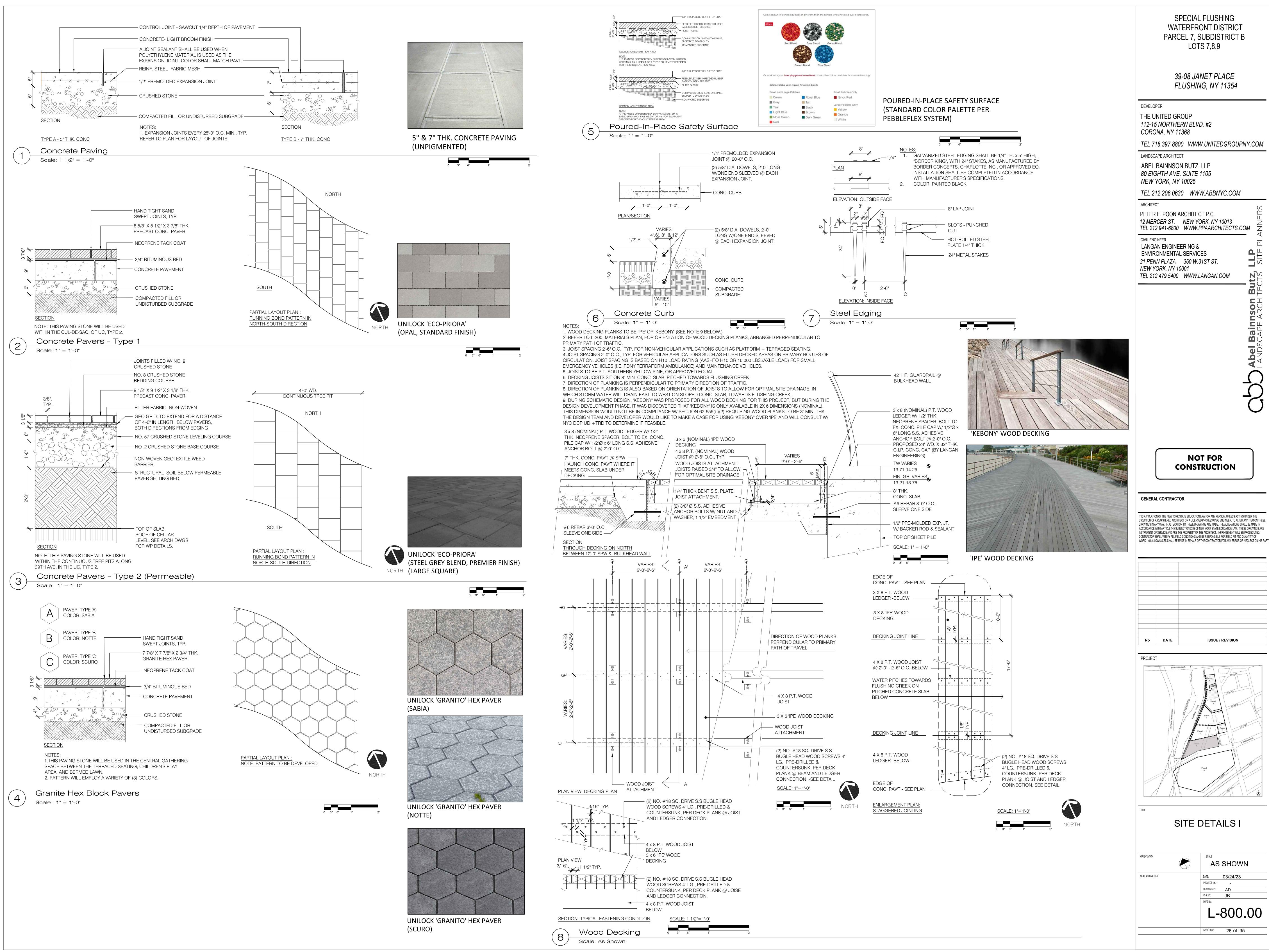
WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

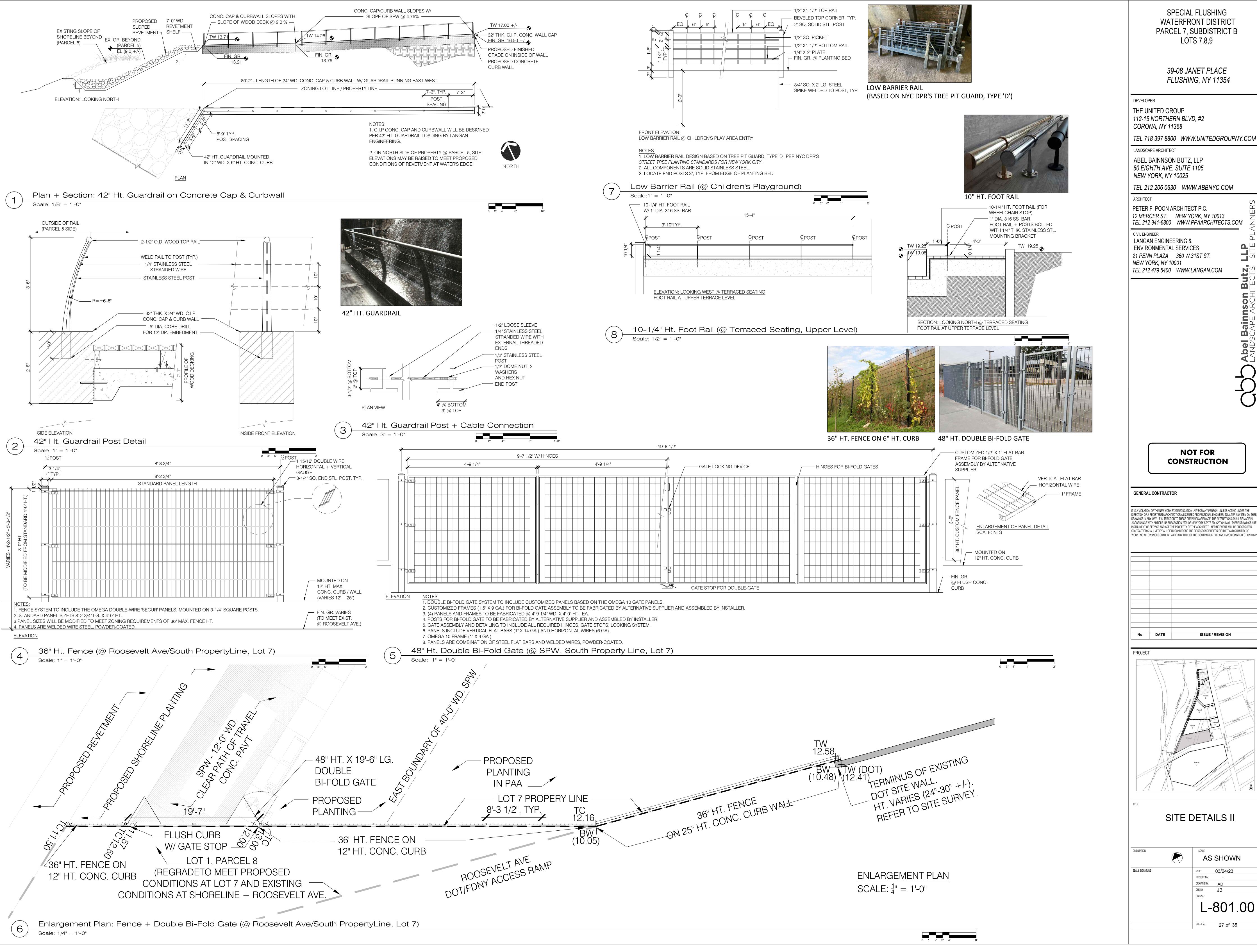


SITE SECTIONS/ELEVATIONS

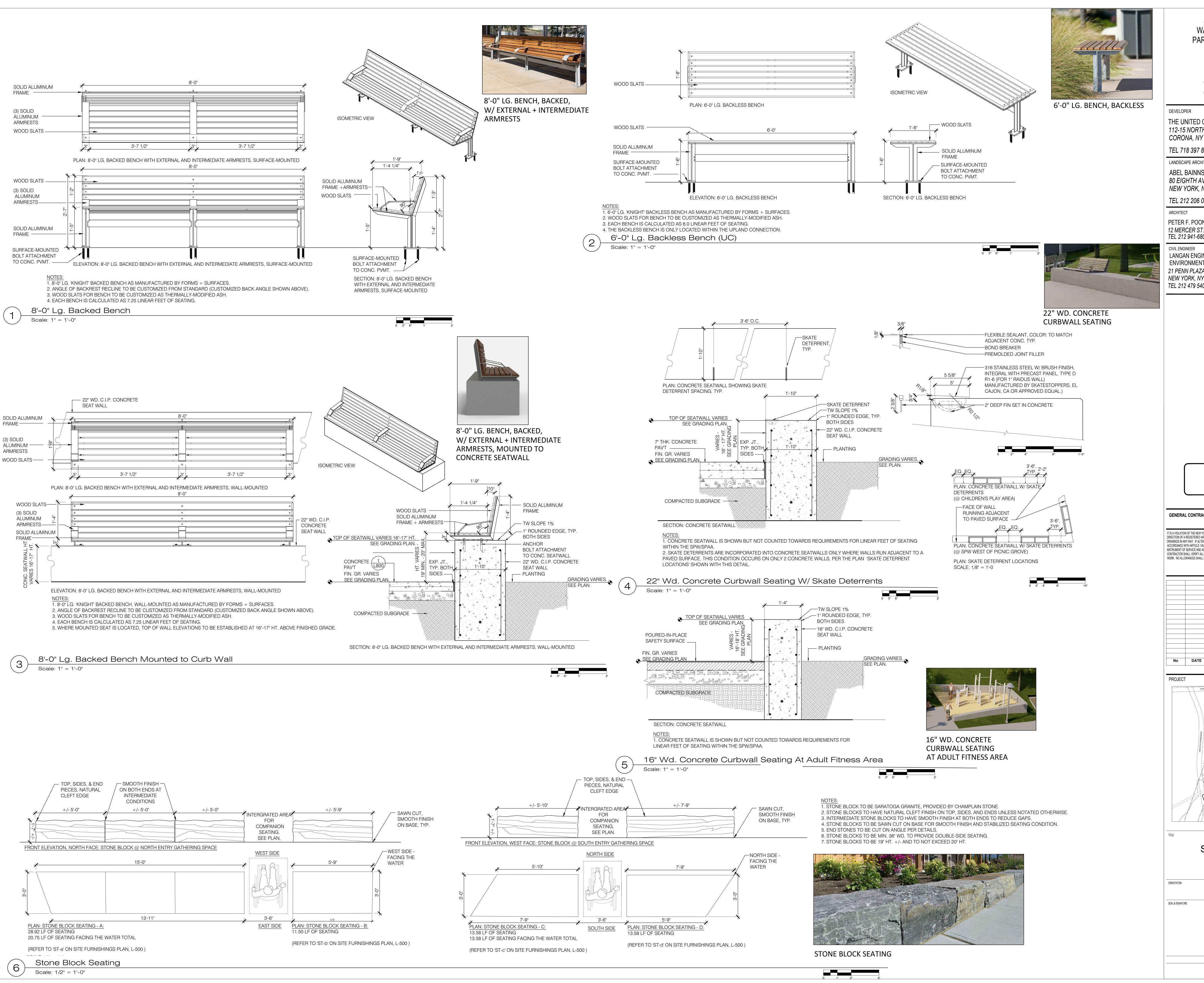
1/4" = 1'-0" SEAL & SIGNATURE 03/24/23 PROJECT No.: L-703.00 SHEET No.: 25 of 35

0 1' 2' 3' 4'





SCALE
AS SHOWN
DATE: 03/24/23
PROJECT No.:
DRAWING BY: AD
CHK BY: JB
DWG No.:
L-801.00
SHEET No.: 27 of 35



> 39-08 JANET PLACE FLUSHING, NY 11354

DEVELOPER

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

LANDSCAPE ARCHITECT ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

ARCHITECT PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM

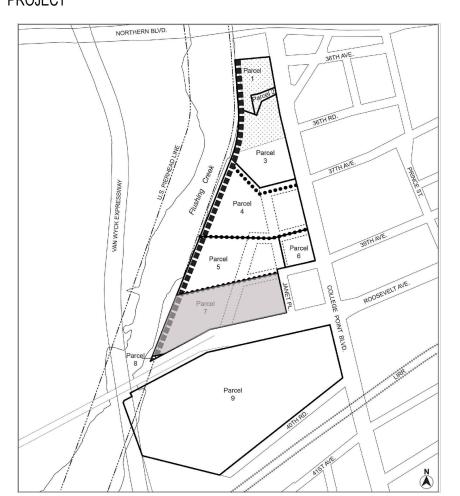
CIVIL ENGINEER LANGAN ENGINEERING & **ENVIRONMENTAL SERVICES** 21 PENN PLAZA 360 W.31ST ST. NEW YORK, NY 10001 TEL 212 479 5400 WWW.LANGAN.COM

> **NOT FOR** CONSTRUCTION

GENERAL CONTRACTOR

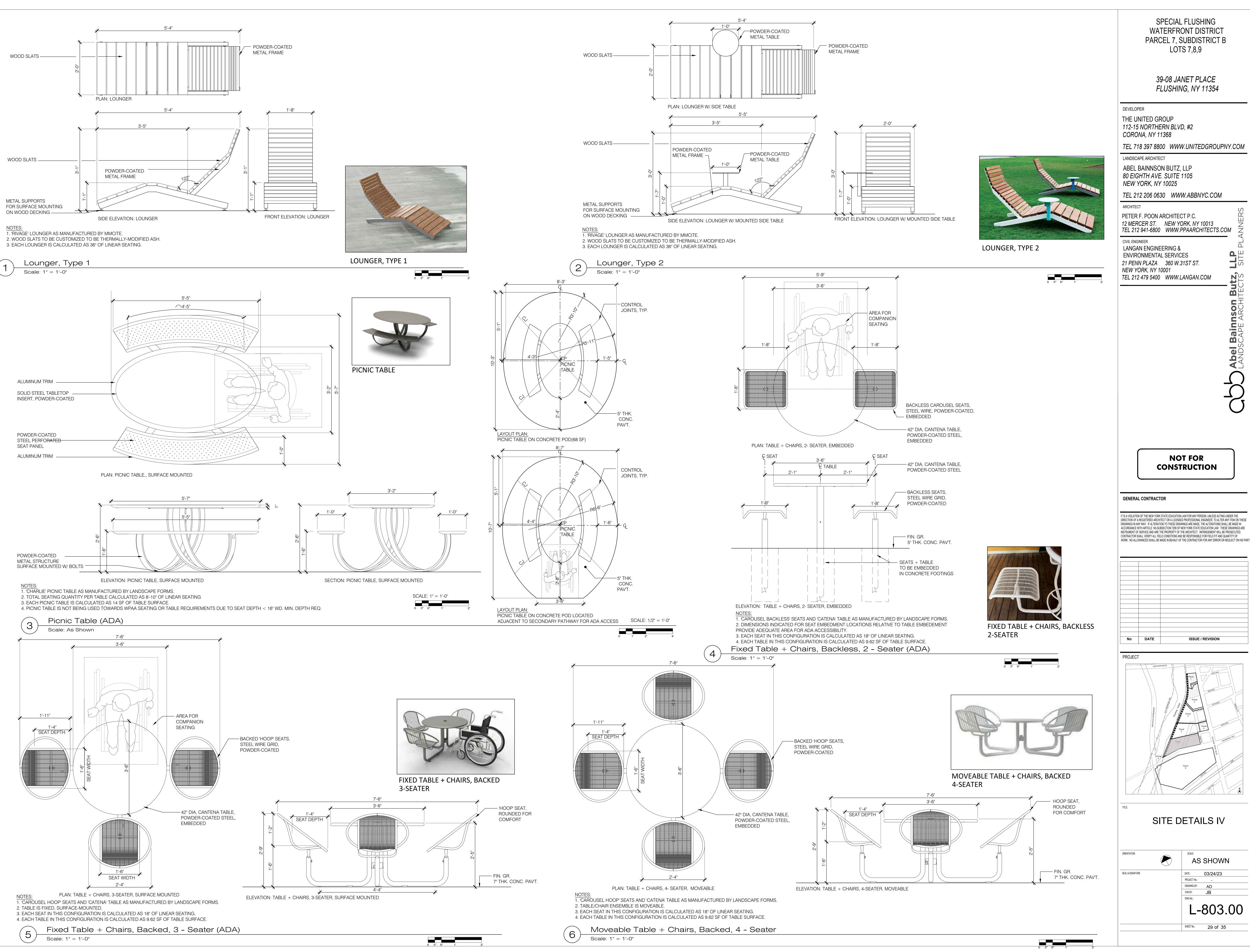
T IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE. THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART

ISSUE / REVISION



SITE DETAILS III

ORIENTATION	SCALE
	AS SHOWN
SEAL & SIGNATURE	DATE: 03/24/23
	PROJECT No.:
	DRAWING BY: AD
	снк ву: ЈВ
	DWG No.:
	L-802.00
	SHEET No.: 28 of 35



> 39-08 JANET PLACE FLUSHING, NY 11354

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM

LANGAN ENGINEERING & **ENVIRONMENTAL SERVICES** 21 PENN PLAZA 360 W.31ST ST. NEW YORK, NY 10001

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED.

NOT FOR

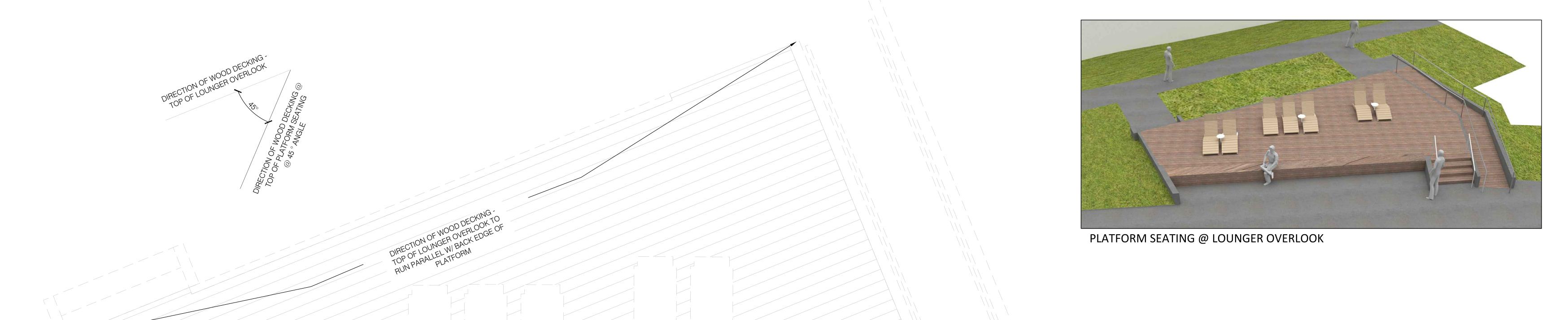
CONSTRUCTION

ISSUE / REVISION



SITE DETAILS IV

AS SHOWN PROJECT No.: CHK BY: L-803.00 SHEET No.: 29 of 35



CONCRETE

13.58 +

CHEEK WALL

3'-3"

-WOOD (KEBONY)

DECKING ON TOP

+ WEST FACE OF

L DIRECTION OF WOOD DECKING @ TOP

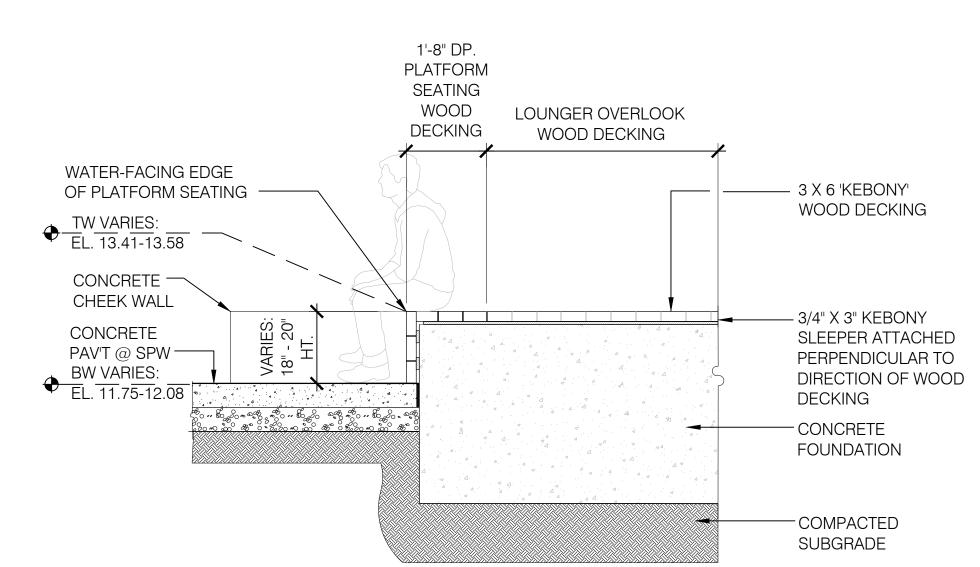
OF PLATFORM SEATING @ 45 ° ANGLE

SEATING

DIRECTION OF WOOD DECKING

TO RUN PARALLEL W/ REAR

RETAINING WALL



SECTION/ELEVATION 'A': PLATFORM SEATING

1. SEE GRADING PLAN FOR PLATFORM SEATING/LOUNGER OVERLOOK ELEVATIONS. 2. 20" DP. PLATFORM SEATING DEFINED BY ALTERNATE DIRECTION OF WOOD DECKING (@45° ANGLE FROM DECKING FOR TOP OF LOUNGER OVERLOOK). REFER TO 3D RENDERED IMAGE OF PLATFORM SEATING FOR PROPOSED DIRECTION OF WOOD CLADDING. 3. HEIGHT OF WOOD SLEEPER TO BE ADJUSTED SO DECKING MEETS FINAL FINISHED GRADE.

4. DECKING IS 3" MIN. THK. (NOMINAL). 5. THIS DESIGN FEATURE SEATING ELEMENT IS CALCULATED AS 27.17 LINEAR FEET OF SEATING.

Platform Seating @ Lounger Overlook

CONCRETE CHEEK WALL

PLAN: PLATFORM SEATING @ LOUNGER OVERLOOK

BACK RETAINING WALL ---

1. SEE GRADING PLAN FOR TERRACED SEATING SITE ELEVATIONS.

4. DECKING IS 3" MIN. THK. (NOMINAL).

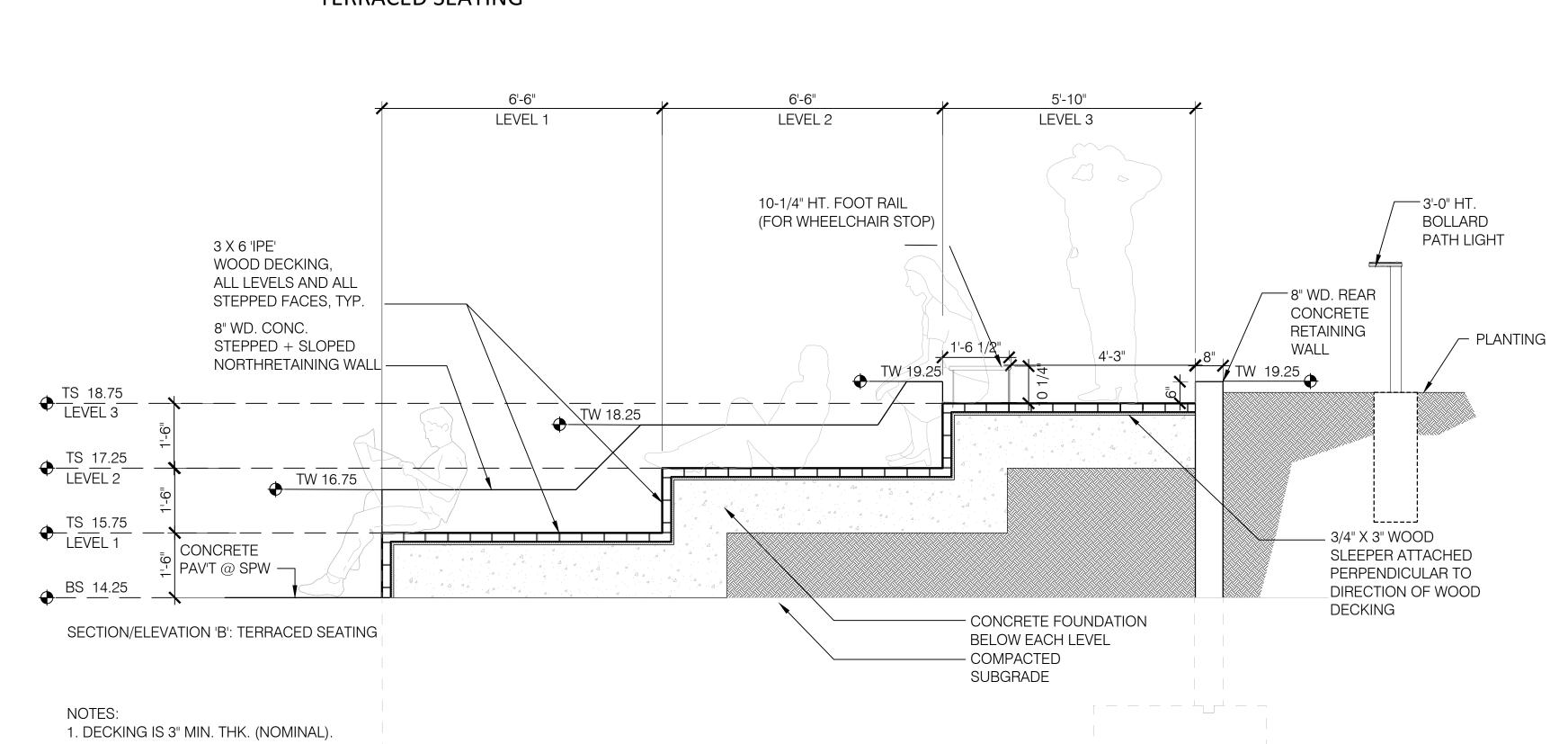
2. REFER TO 3D RENDERED IMAGE OF PLATFORM SEATING FOR PROPOSED DIRECTION OF WOOD CLADDING.

3. THIS DESIGN FEATURE SEATING ELEMENT IS CALCULATED AS 60.08 LINEAR FEET OF SEATING.

1" DIA. 316 SS BAR FOOT RAIL



TERRACED SEATING



(FOR WHEELCHAIR STOP) — TW 19.75 + /+ TW 19.75 BW 18.75 + + BW 18.75 TR 18.75+ 18" SEATING DEPTH ON TOP LEVEL TS 18.75 + 15'-3" TW 18.41 SEATING SEATING -STEPPED LEVEL 2 - 'IPE' WOOD DECKED 'IPE' WOODDECKED STEPS BETWEEN TERRACE LEVELS SEATING LEVELS STEPPED LEVEL 2 + TS 16.92 TS 16.92 + + BS 15.58 BS 15.58+ 5'-2" 7'-0 1/2" 6'-9 1/2" SEATING SEATING SEATING ____ 8" WD. CONC. (5) 5-1/4" RISERS ____ STEPPED + SLOPED 'IPE' DECKED STEPS SOUTH RETAINING WALL BETWEEN SEATING LEVELS 14.25 ⁺ ADA ALCOVE SEATING - 5" THK. 8" WD. CONC. CONCRETE PAVT. STEPPED + SLOPED NORTH RETAINING WALL — STEPPED LEVEL 1 TW -16.58 -+ TS 15.58 + BS 14.25 BS 14.25 + SEATING SEATING PLAN: TERRACED SEATING

EDGE OF PLATFORM SEATING, FACING THE WATER

Terraced Seating Scale: 1/2" = 1'-0"



SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9

> 39-08 JANET PLACE FLUSHING, NY 11354

DEVELOPER

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

LANDSCAPE ARCHITECT ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C. 12 MERCER ST. NEW YORK, NY 10013 TEL 212 941-6800 WWW.PPAARCHITECTS.COM CIVIL ENGINEER LANGAN ENGINEERING &

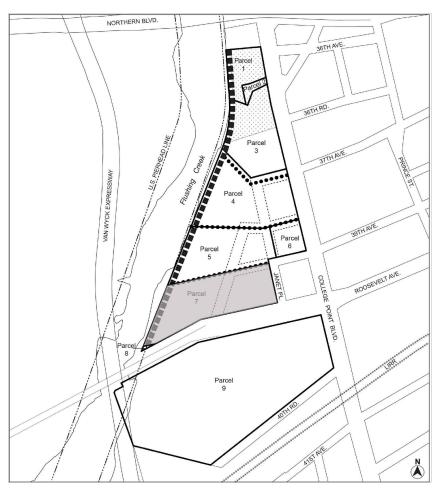
ENVIRONMENTAL SERVICES 21 PENN PLAZA 360 W.31ST ST. NEW YORK, NY 10001 TEL 212 479 5400 WWW.LANGAN.COM

> **NOT FOR CONSTRUCTION**

GENERAL CONTRACTOR

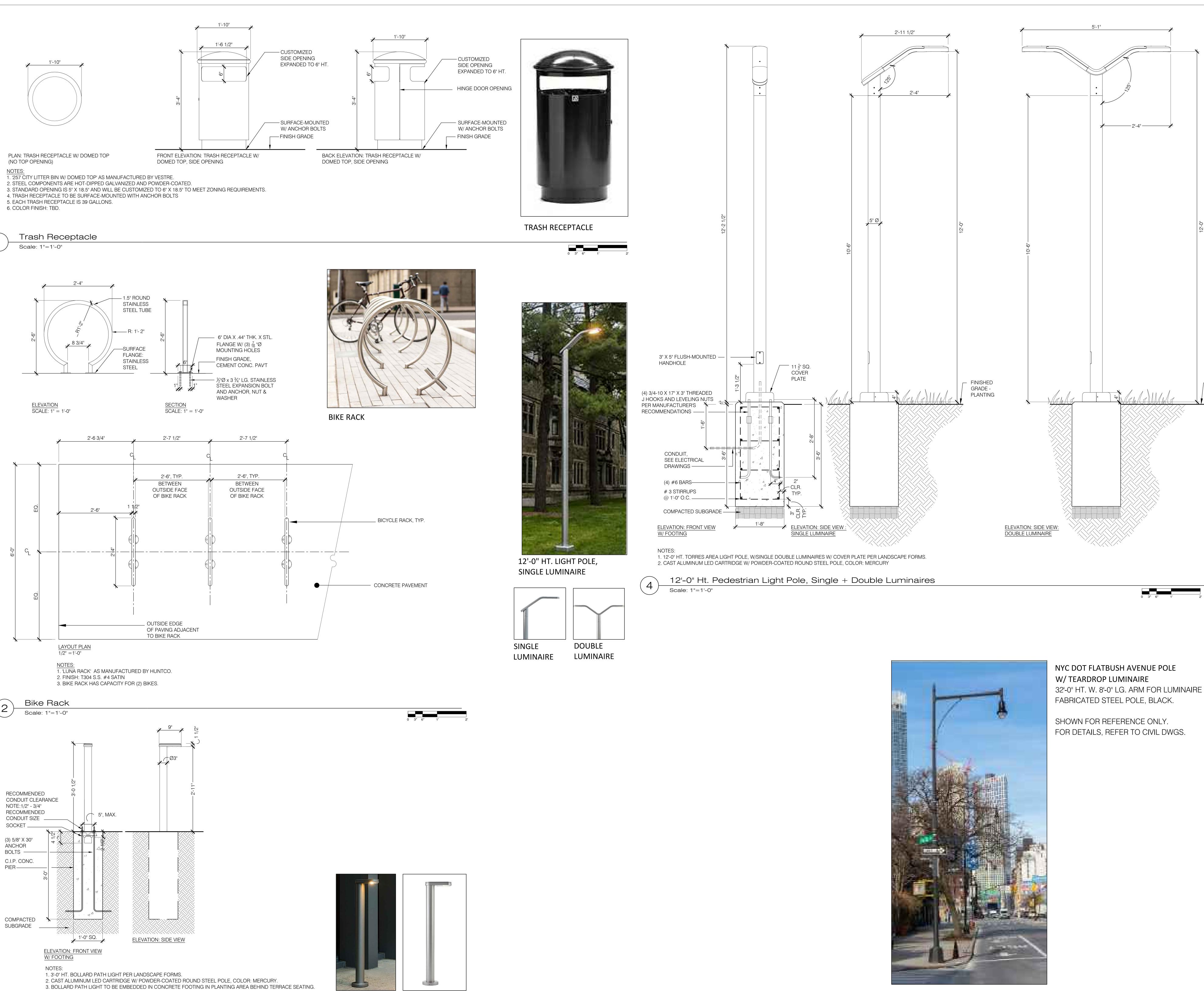
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No	DATE	ISSUE / REVISION



SITE DETAILS V

ORIENTATION	SCALE
	AS SHOWN
SEAL & SIGNATURE	DATE: 03/24/23
	PROJECT No.:
	DRAWING BY: AD
	снкву: ЈВ
	DWG No.:
	L-804.00
	SHEET No.: 30 of 35



3'-0" Ht. Bollard Path Light

Scale: 1"=1'-0"

SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9

39-08 JANET PLACE

FLUSHING, NY 11354

DEVELOPER

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

NEW YORK, NY 10001

TEL 212 206 0630 WWW.ABBNYC.COM

PETER F. POON ARCHITECT P.C.

12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER

LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.

TEL 212 479 5400 WWW.LANGAN.COM

NOT FOR CONSTRUCTION

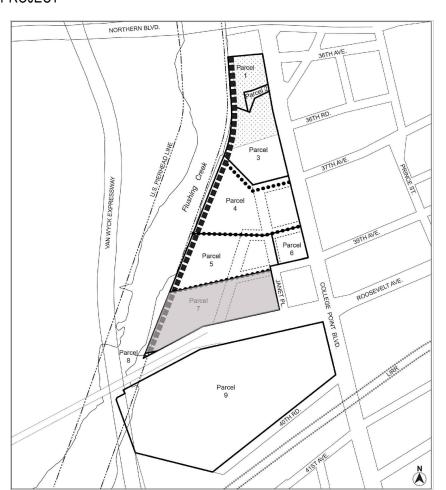
GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF

WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No DATE ISSUE / REVISION

PROJECT



SITE DETAILS VI

ORIENTATION

SCALE

AS SHOWN

DATE: 03/24/23

PROJECT No.:
DRAWING BY: AD

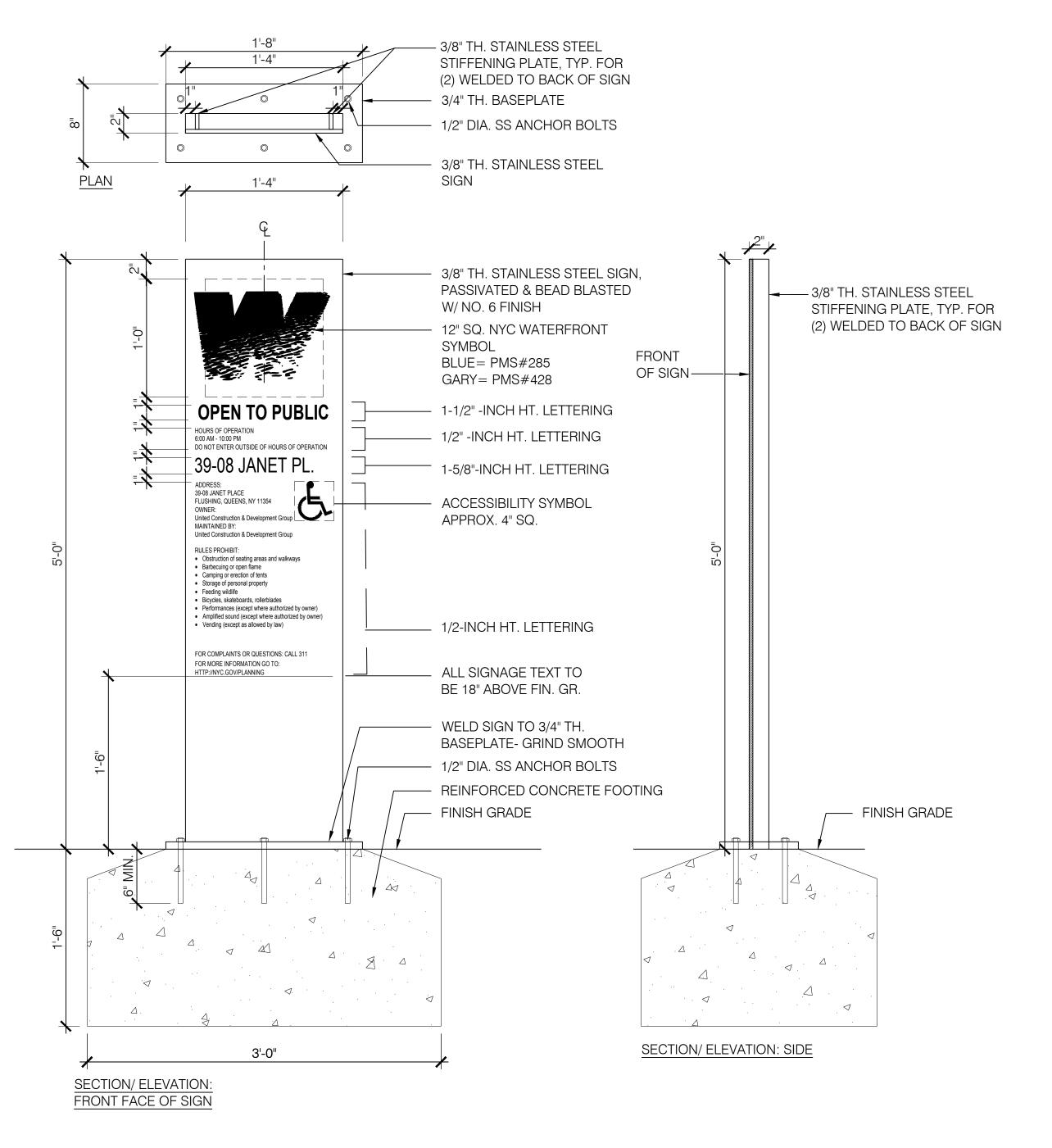
CHK BY: JB

DWG No.:

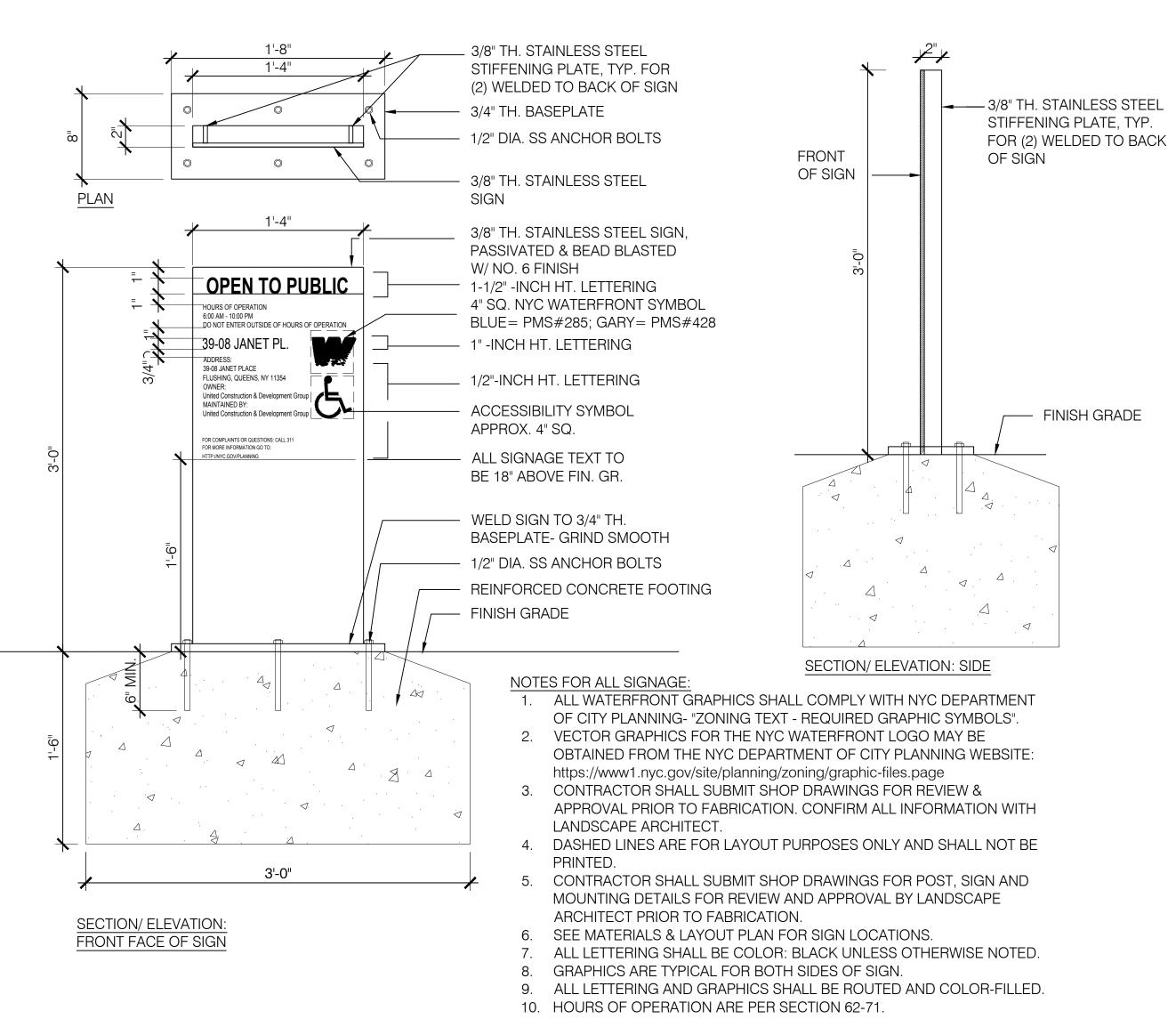
L-805.00

SHEET No.: 31 of 35

5 Scale: NTS Street Lighting for Upland Connection



Entry Signage Scale: 1 1/2" = 1'-0"



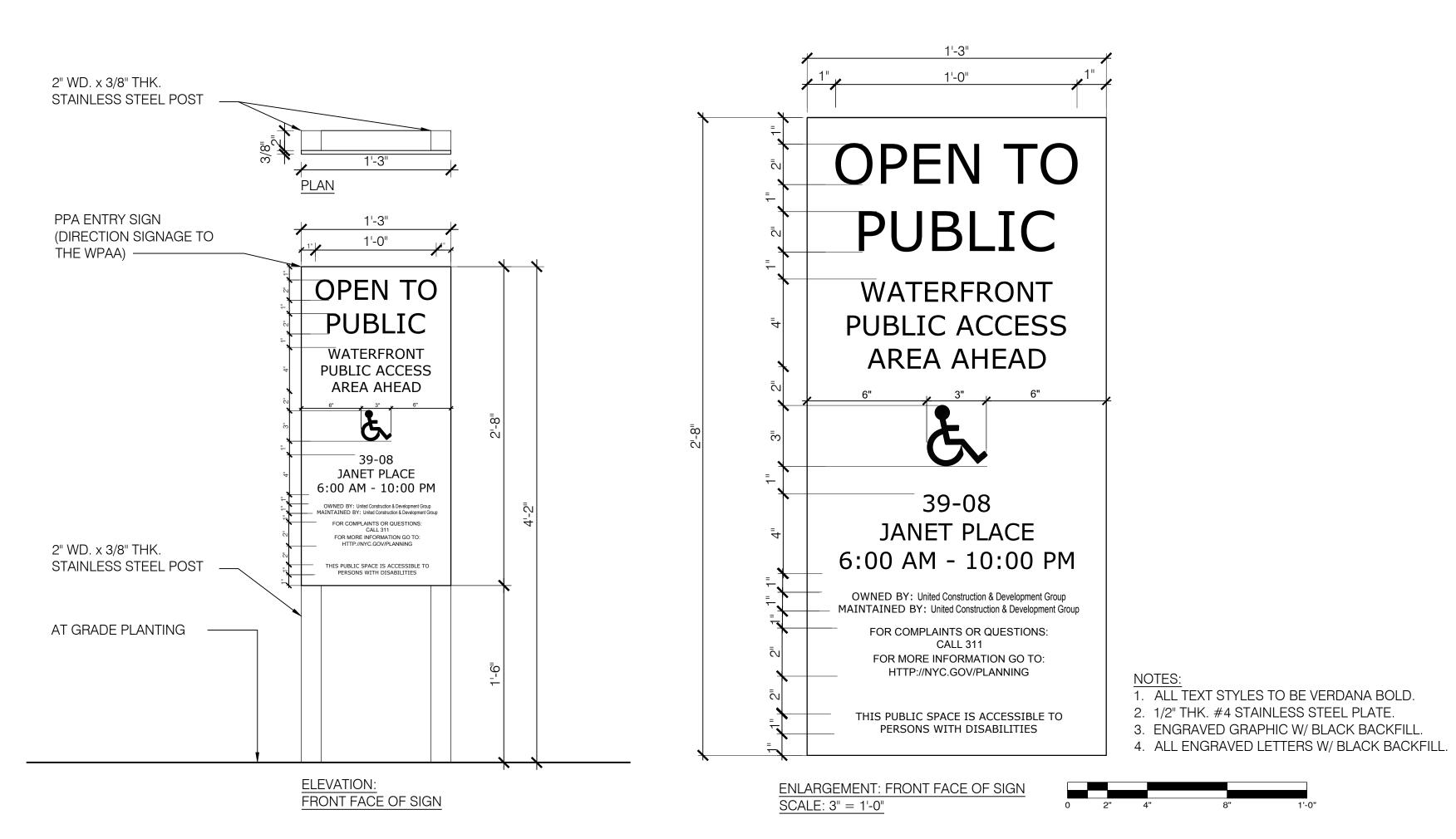
Zoning Lot Line Signage

- 3/8" TH. TYPE 316L SEATING STAINLESS STEEL OPEN TO PLATE W/ ETCHED & SEATING - 1" HT. LETTERING, FONT: ARIAL ETCHED STAINLESS STEEL, FILLED WITH BLACK LETTERING **PUBLIC** FILLED LETTERING FOLD LINE - 1/2" DIA. SS ANCHOR BOLTS (BEHIND) - FINISH GRADE — CONCRETE FOOTING SECTION/ ELEVATION SCALE: 1-1/2" = 1'-0"

- NOTES:

 1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO FABRICATION.
- DASHED LINES ARE FOR LAYOUT PURPOSES ONLY AND SHALL NOT BE PRINTED.
 CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR POST, SIGN AND MOUNTING DETAILS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO
- FABRICATION. 4. SEE MATERIALS & LAYOUT PLANS FOR SIGN LOCATIONS.
- 5. ALL LETTERING SHALL BE ETCHED.

Seating 'Open to the Public' Signage Scale: 1 1/2" = 1'-0"



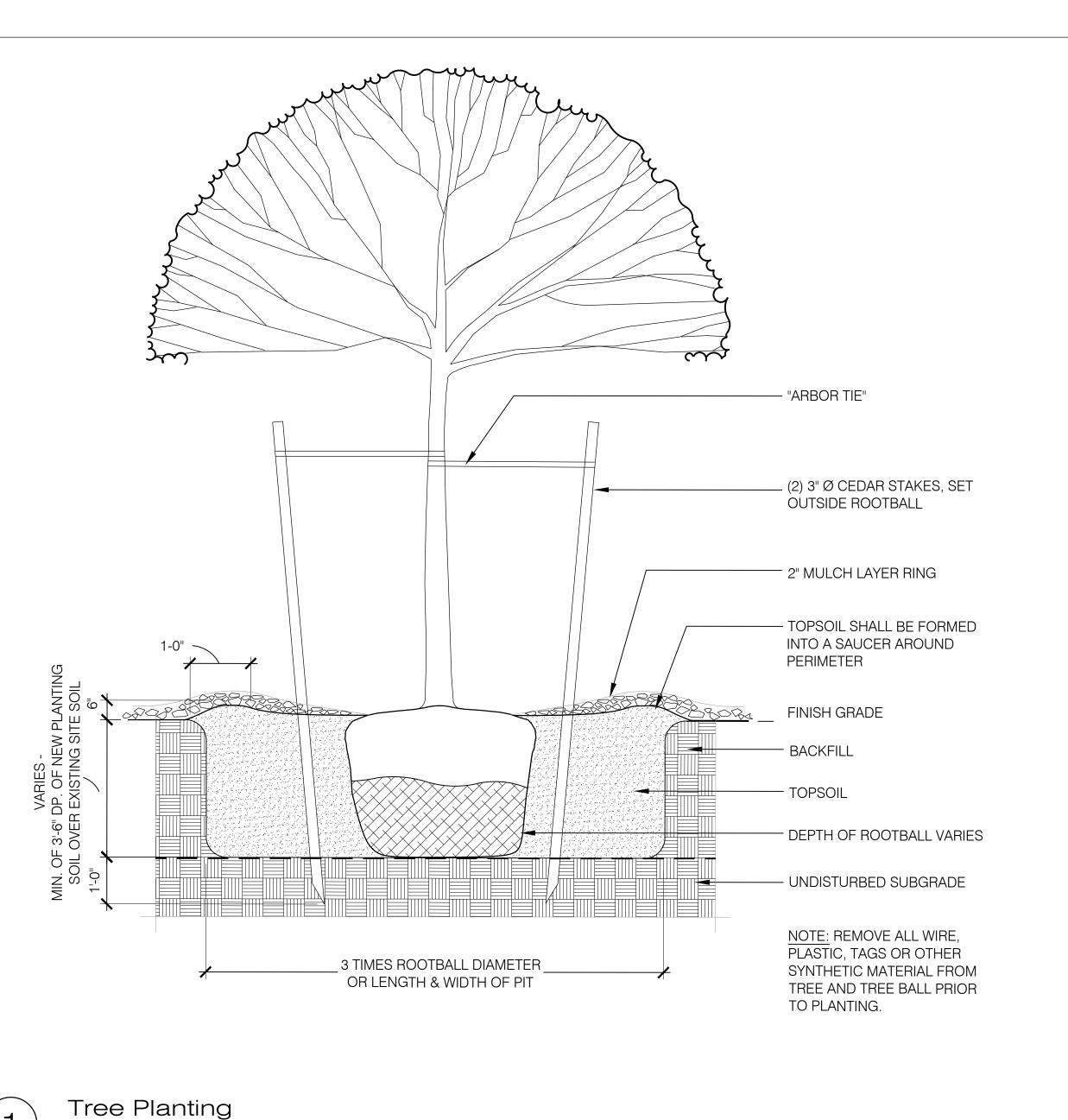
POS-2 Entry Sign (Directional Signage to WPAA @ Roosevelt Ave.)

Scale: 1 1/2" = 1'-0"

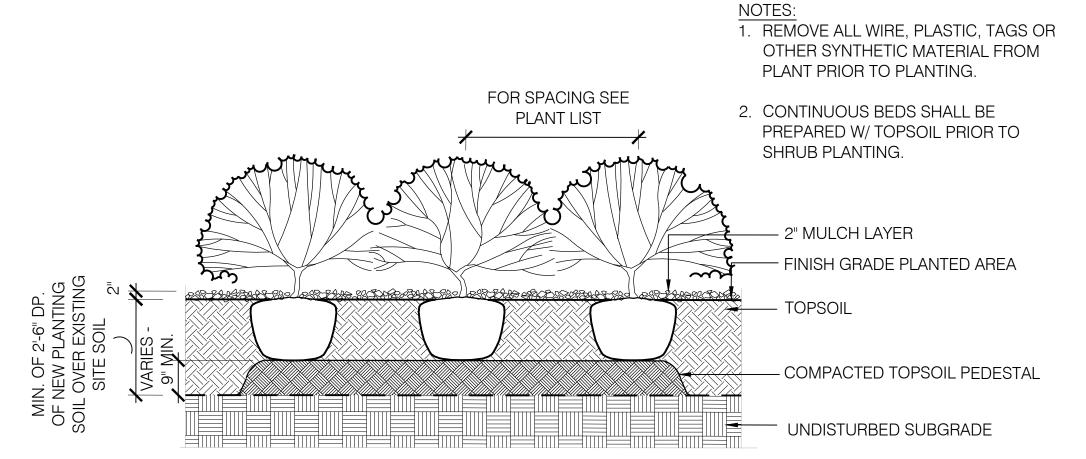
SITE DETAILS VII

AS SHOWN

L-806.00

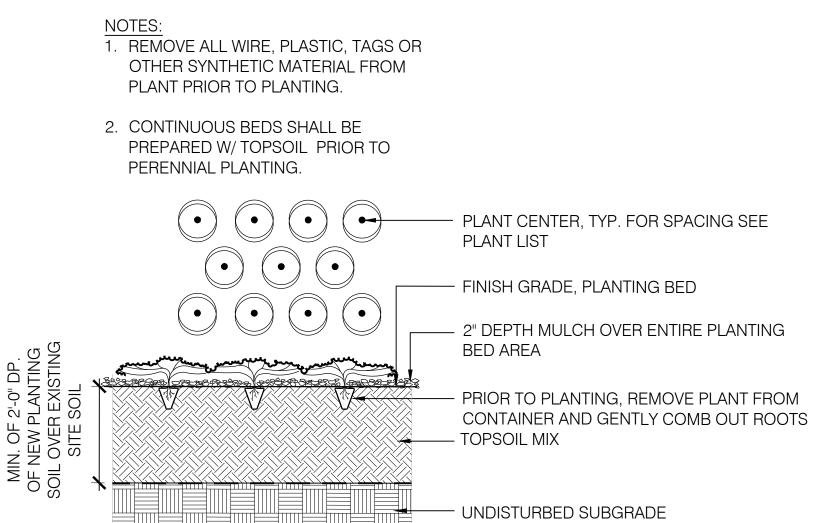


Scale: NTS



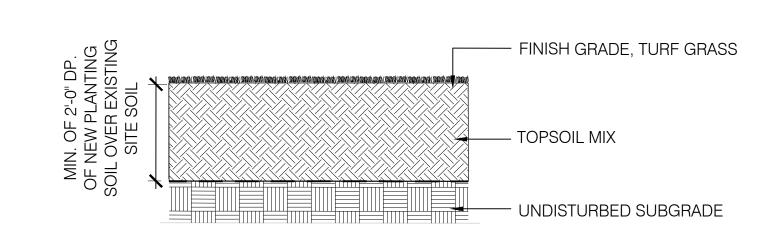
Shrub Planting

Scale: NTS



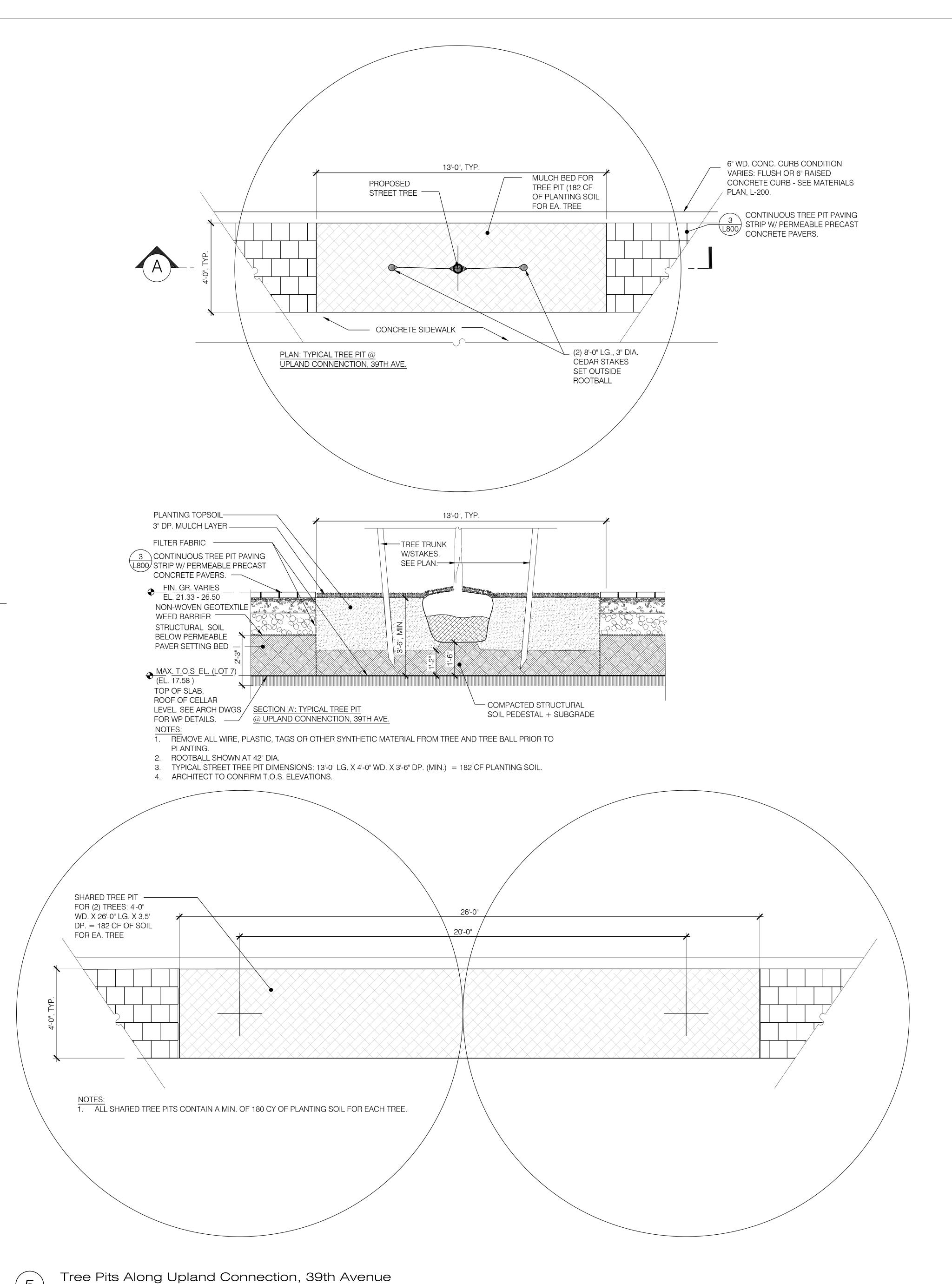
Groundcover Planting

Scale: NTS



4 Lawn Planting

Scale: NTS



SPECIAL FLUSHING WATERFRONT DISTRICT PARCEL 7, SUBDISTRICT B LOTS 7,8,9

> 39-08 JANET PLACE FLUSHING, NY 11354

DEVELOPER

THE UNITED GROUP 112-15 NORTHERN BLVD, #2 CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

ABEL BAINNSON BUTZ, LLP 80 EIGHTH AVE. SUITE 1105 NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

TEL 212 479 5400 WWW.LANGAN.COM

PETER F. POON ARCHITECT P.C.

12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER

LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001

Abel Bain

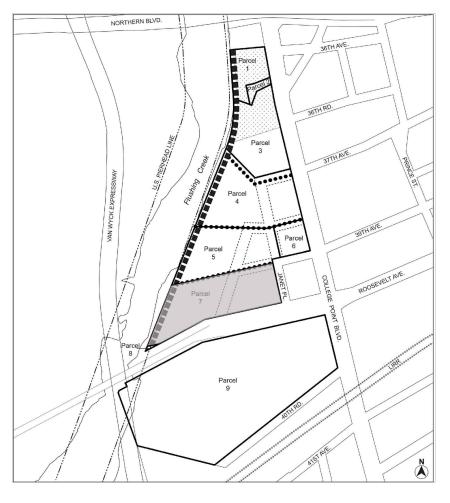
NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 7209 OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No DATE ISSUE / REVISION

PROJEC



SITE DETAILS VIII

ORIENTATION	AS SHOWN
SEAL & SIGNATURE	DATE: 03/24/23
	PROJECT No.:
	DRAWING BY: AD
	снк ву: ЈВ
	DWG No.:
	L-807.00

