

NOTES:
THIS 'SURVEY DIAGRAM' IS COMPILED FROM TWO DIFFERENT SURVEY SOURCES, AS FOLLOWS:

PARCEL 7: SURVEY PREPARED FOR THE UNITED GROUP BY NY LAND SURVEYOR, P.C., DATE JUNE 19, 2021, AND UPDATED ON OCTOBER 6, 2021.

PARCEL 5: THIS SURVEY WAS ORIGINALLY PREPARED FOR THE SPECIAL FLUSHING WEST CONSORTIUM BY CONTROL POINT ASSOCIATES, DATED OCTOBER 23, 2018. THIS SURVEY WAS UPDATED ON APRIL 29, 2019 FOR PARCEL 5, LOT 65 TOPOGRAPHY ONLY. THIS AMENDED SURVEY HAS NOT BEEN FORMALLY ISSUED BY CONTROL POINT AT THE TIME OF THIS WPA CERTIFICATION SUBMISSION FOR SITE 1, PARCEL 7. THIS SURVEY INFORMATION WAS SUBMITTED TO OUR DESIGN TEAM BY THE UNITED GROUP FOR PURPOSES OF PROVIDING ADDITIONAL AVAILABLE INFORMATION AND TOPOGRAPHICAL CONDITIONS BEYOND THE NORTH PROPERTY LINE OF PARCEL 7.

SPECIAL FLUSHING WATERFRONT DISTRICT
PARCEL 7, SUBDISTRICT B
LOTS 7,8,9

39-08 JANET PLACE
FLUSHING, NY 11354

DEVELOPER

THE UNITED GROUP
112-15 NORTHERN BLVD, #2
CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

LANDSCAPE ARCHITECT

ABEL BAINNSON BUTZ, LLP
80 EIGHTH AVE. SUITE 1105
NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

ARCHITECT

PETER F. POON ARCHITECT P.C.
12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER

LANGAN ENGINEERING & ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

Abel Bainsnon Butz, LLP
LANDSCAPE ARCHITECTS SITE PLANNERS

PARCEL 5,
LOT 65

PARCEL 7,
LOTS 7,8,9

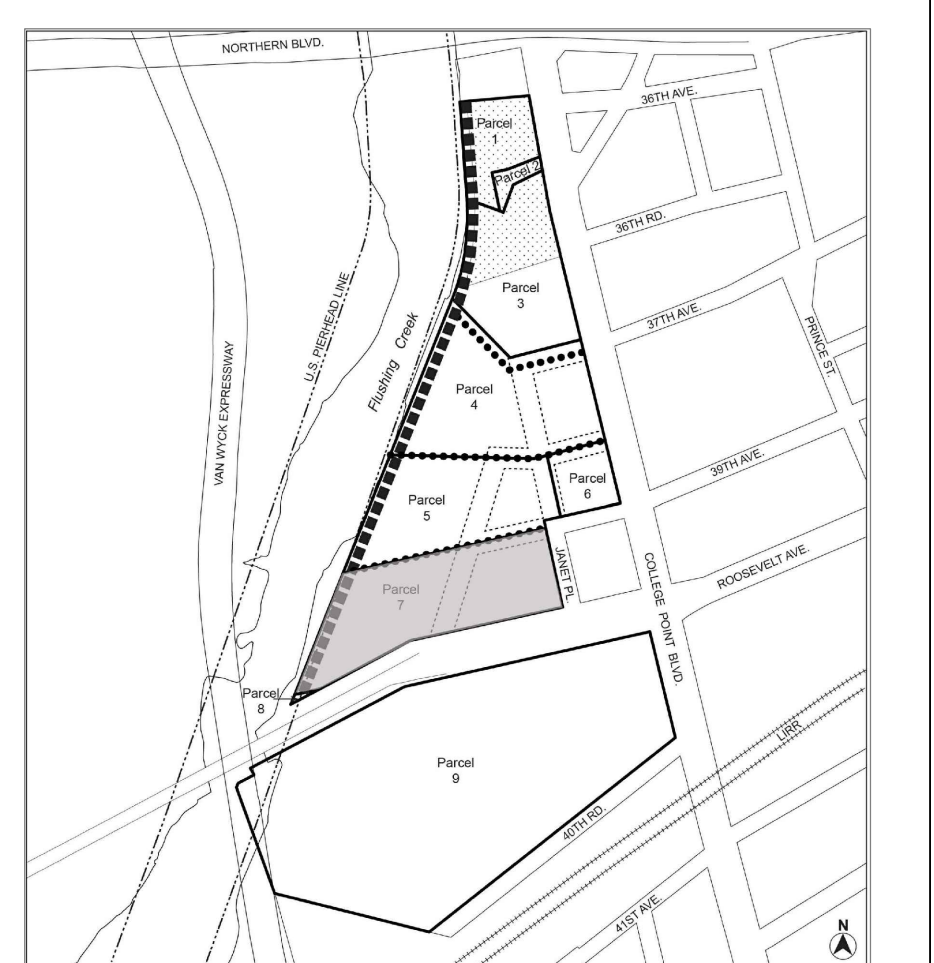
NOT FOR
CONSTRUCTION

GENERAL CONTRACTOR

IF A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, SHALL BE ANY ITEM ON THESE DRAWINGS PREPARED BY ANY OTHER PERSON OR FIRM. IF A VIOLATION OF THESE DRAWINGS IS MADE IN ACCORDANCE WITH THE NEW YORK STATE EDUCATION LAW, THESE DRAWINGS ARE THE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. IMPROVEMENTS WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD AND QUALITY CONTROL WORK. NO ALLOWANCES SHALL BE MADE BEYOND THE CONTRACTOR FOR ANY ERRORS OR OMISSIONS ON HIS PART.

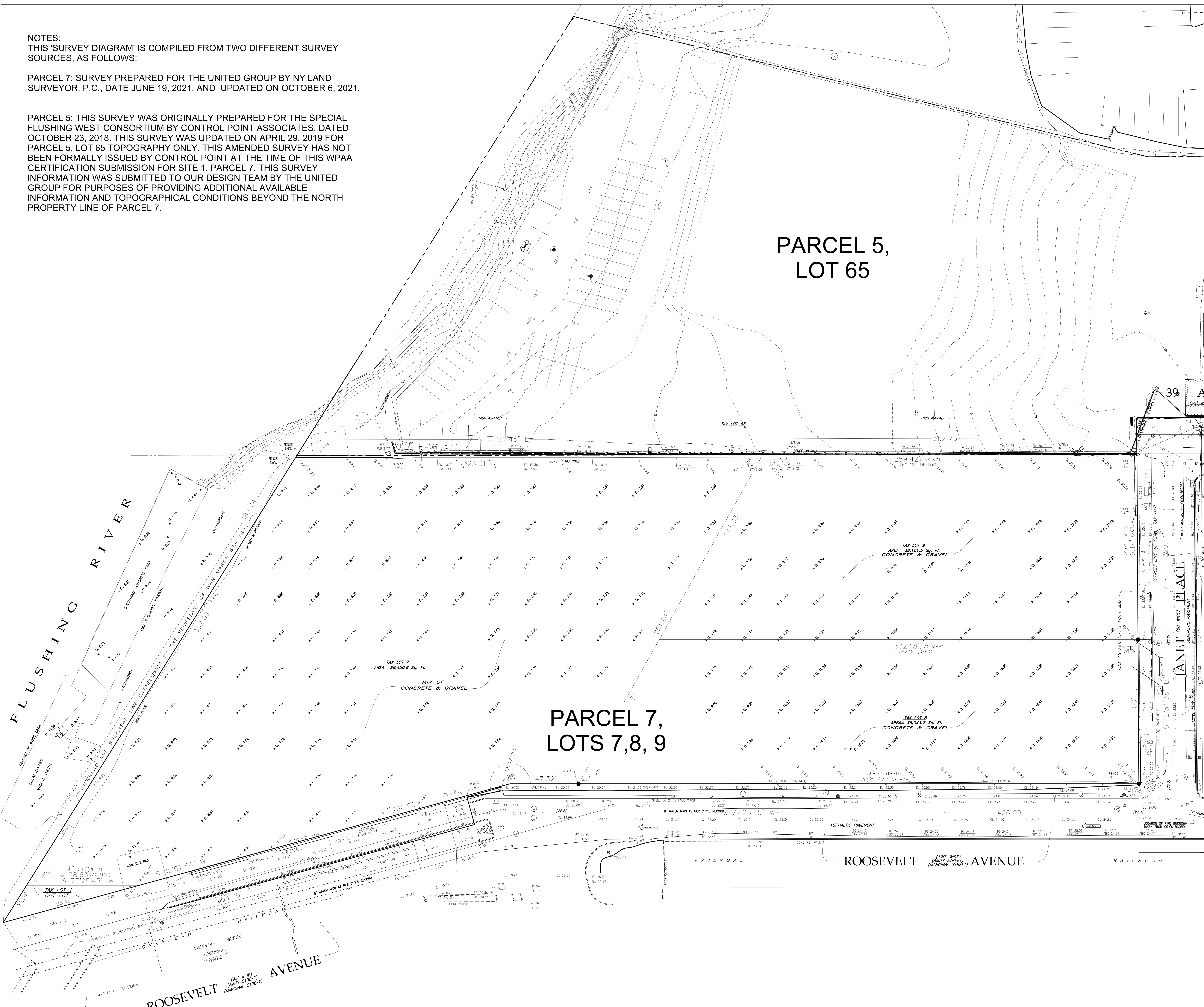
No	DATE	ISSUE / REVISION

PROJECT



SURVEY
DIAGRAM

OPERATION	SCALE
DATE: 03/24/23	1" = 20'-0"
PROJECT: AD	
DRAWING: AD	
CHKY: JB	
DWG: C-002.00	
SHEET: 3 of 35	



DEVELOPER
THE UNITED GROUP
112-15 NORTHERN BLVD, #2
CORONA, NY 11368
TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

LANDSCAPE ARCHITECT
ABEL BAINSON BUTZ, LLP
80 EIGHTH AVE. SUITE 1105
NEW YORK, NY 10025
TEL 212 206 0630 WWW.ABBNYC.COM

ARCHITECT
PETER F. POON ARCHITECT P.C.
12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

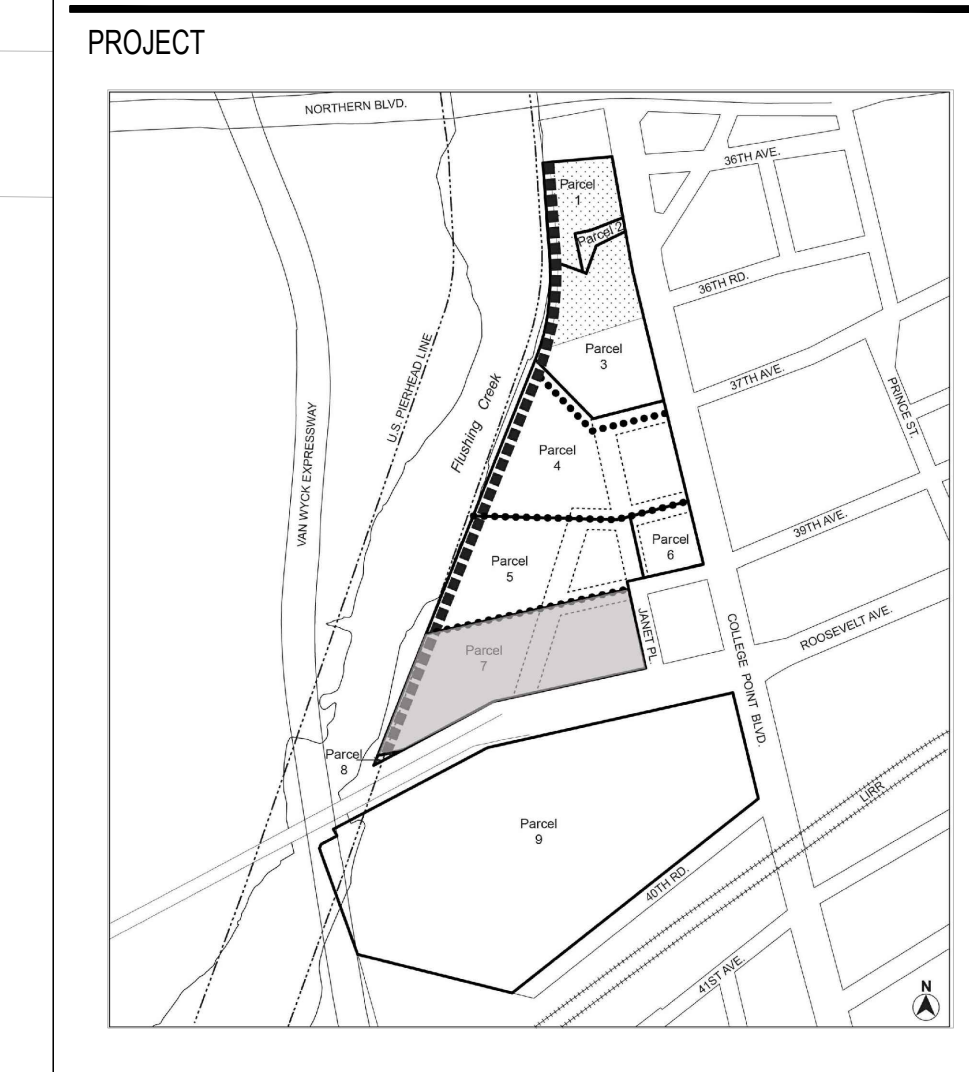
ABEL BAINSON BUTZ, LLP
LANDSCAPE ARCHITECTS SITE PLANNERS

**NOT FOR
CONSTRUCTION**

GENERAL CONTRACTOR

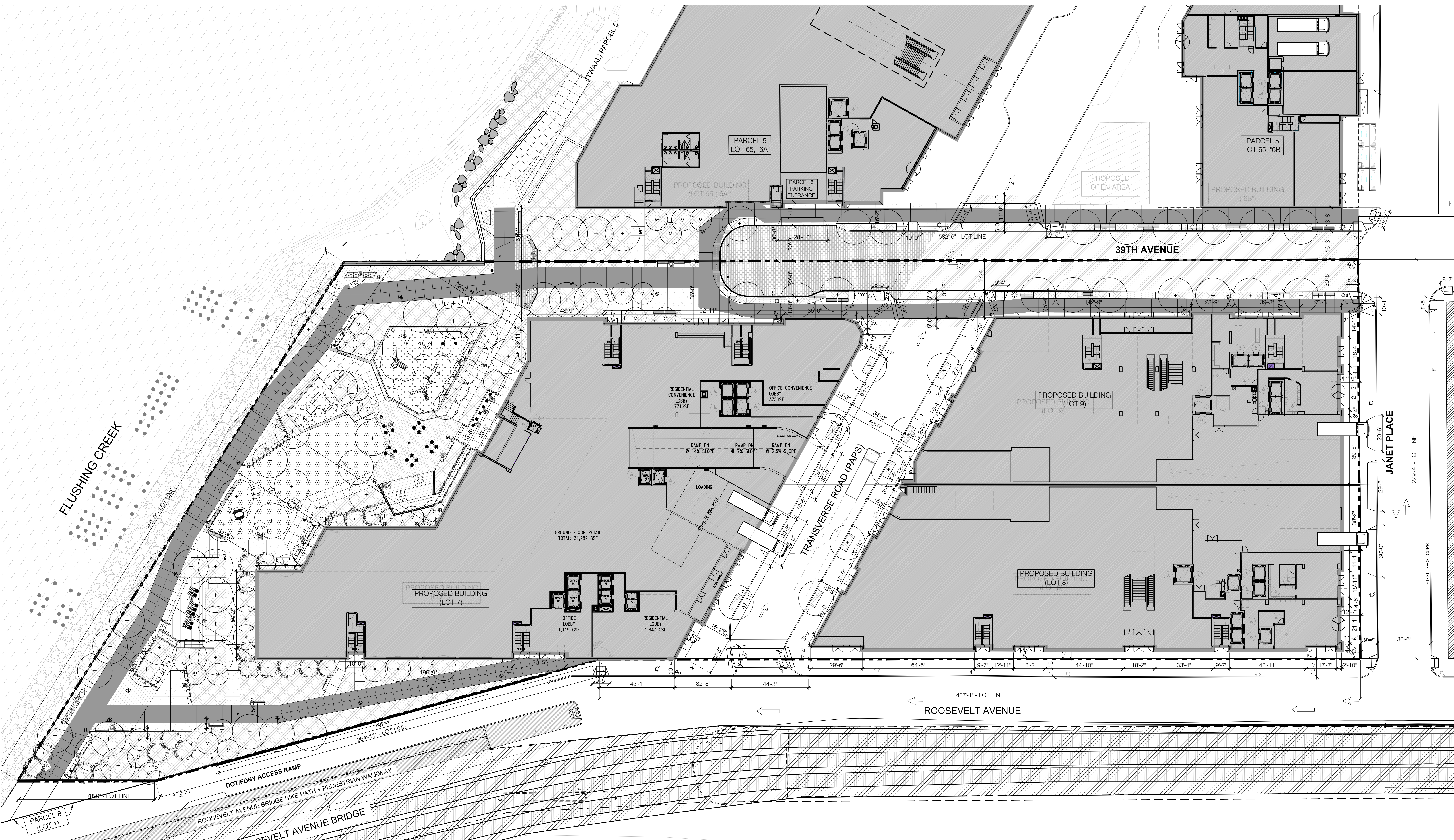
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO SEAL ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF ALTERNATION TO THESE DRAWINGS ARE MADE, THE ALTERNATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 16-B SUBSECTION 10-B OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. IMPROPER USE WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD CONDITIONS AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE. REVISE OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No	DATE	ISSUE / REVISION



**ZONING LOT
SITE PLAN**

ORIENTATION	SCALE
	1" = 20'-0"
DATE	03/24/23
PROJECT	AD
DRAWING	JB
DWG	
SHEET NO.	4 of 35

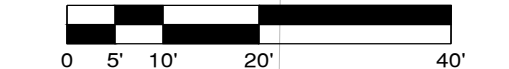


LEGEND

	ZONING LOT LINE		PLANTING
	PROPOSED BUILDING FOOTPRINT		LAWN
	CAST-IN-PLACE CONCRETE PAVING		PROPOSED STONE REVETMENT
	CONCRETE PAVERS, TYPE 1		PROPOSED MAJOR CANOPY TREE
	CONCRETE PAVERS (PERMEABLE), TYPE 2		PROPOSED MAJOR COLUMNAR TREE
	GRANITE HEX PAVING BLOCKS		PROPOSED MINOR/ORNAMENTAL MULTI-STEM TREE
	ASPHALT PAVING		PROPOSED MINOR/ORNAMENTAL TREE
	WOOD DECKING		PROPOSED EVERGREEN/ CONIFEROUS TREE
	POURED-IN-PLACE SAFETY SURFACING		
	ROOSEVELT AVE. BRIDGE OVERHEAD		

NOTE:
1. GROUND FLOOR LAYOUT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

NOTES:
1. POTENTIAL FUTURE CONDITIONS SHOWN FOR PARCEL 5 ARE PER THE FINAL SFWD MASTER PLAN (PREPARED AUGUST 2019) AND PER THE PARCEL 5 ARCHITECTS AND LANDSCAPE ARCHITECTS PRELIMINARY PLANS (MARCH 2023) FOR SHORELINE CONDITION WHERE PARCEL 5 AND 7 CONNECT.
2. CONTEXTUAL SITE CONDITIONS BEYOND THE SOUTHERN LIMITS OF THE SURVEY ARE PROVIDED BY NYCITYMAP (<http://maps.nyc.gov/dotfi/nycitymap>) AND PER GOOGLE EARTH PRO SATELLITE MAPS (2022).
3. TOP OF BANK/TOP OF REVETMENT IS ALSO WESTERN PROPERTY LINE OF ZONING LOT AND US PIER/BULKHEAD LINE.



DEVELOPER
 THE UNITED GROUP
 112-15 NORTHERN BLVD, #2
 CORONA, NY 11368
 TEL 718 397 8800 WWW.UNITIEDGROUPNY.COM

LANDSCAPE ARCHITECT
 ABEL BAINNISON BUTZ, LLP
 80 EIGHTH AVE. SUITE 1105
 NEW YORK, NY 10025
 TEL 212 206 0630 WWW.ABBNYC.COM

ARCHITECT
 PETER F. POON ARCHITECT P.C.
 12 MERCER ST. NEW YORK, NY 10013
 TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER
 LANGAN ENGINEERING &
 ENVIRONMENTAL SERVICES
 21 PENN PLAZA 360 W.31ST ST.
 NEW YORK, NY 10001
 TEL 212 479 5400 WWW.LANGAN.COM

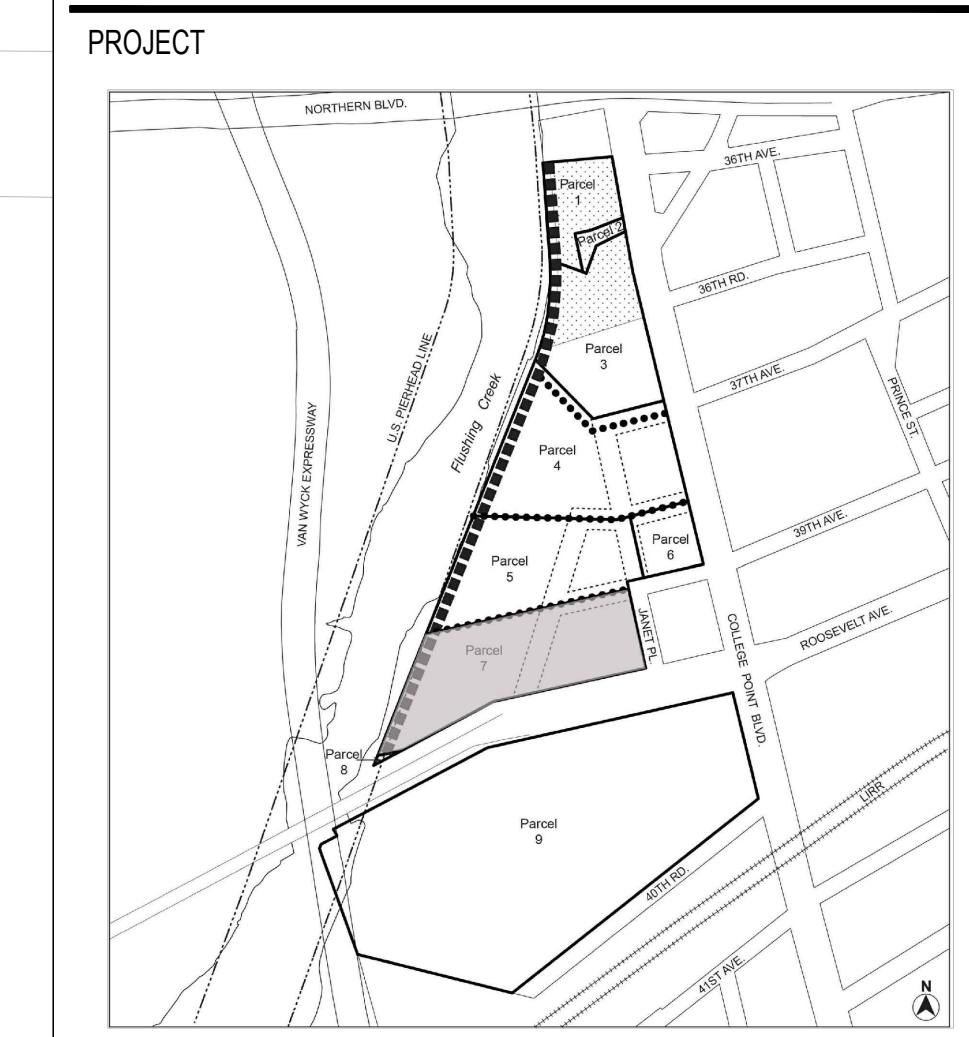
Abel Bainnison Butz, LLP
 LANDSCAPE ARCHITECTS SITE PLANNERS

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

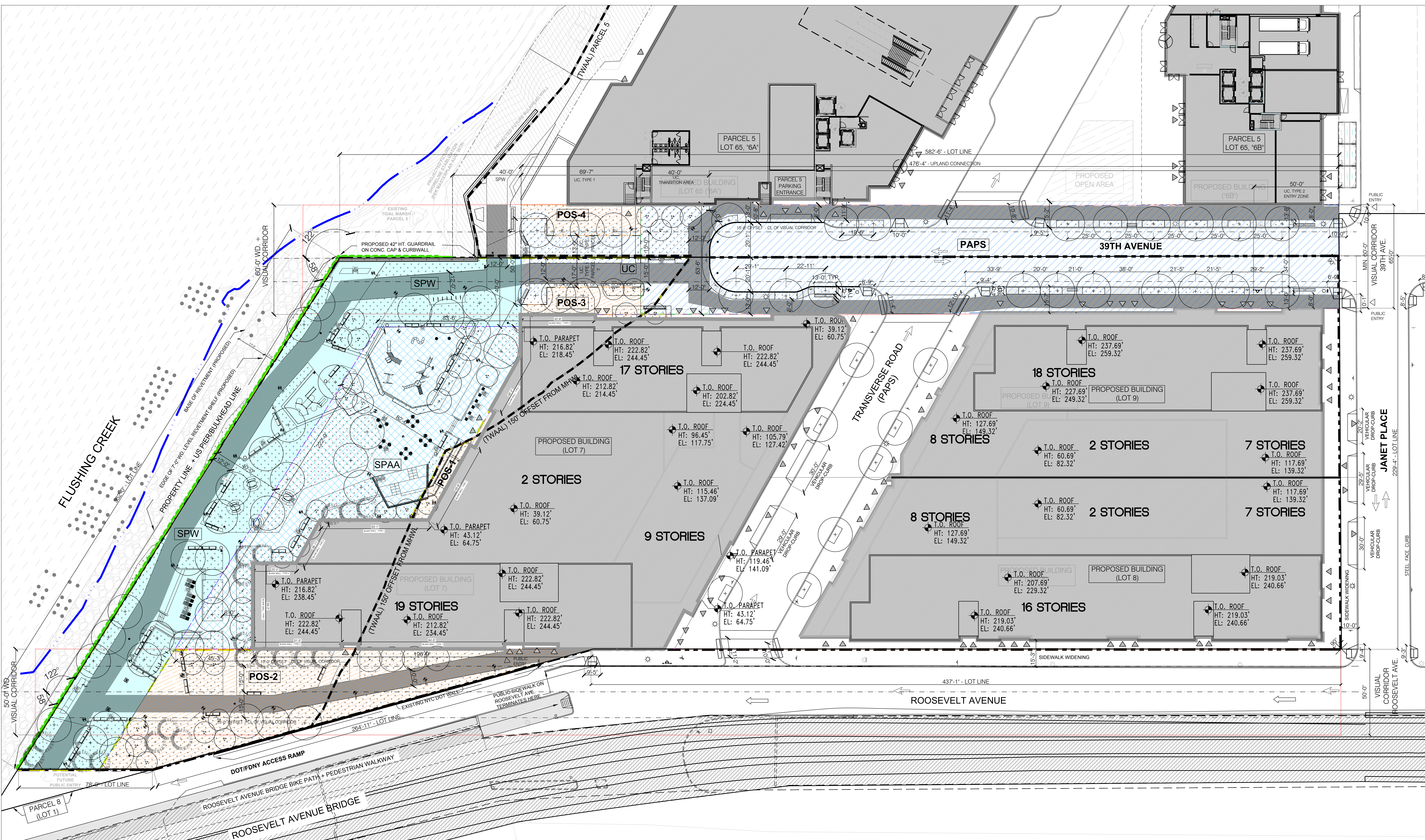
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO SEAL ANY DRAWING OR THESE DRAWINGS IN ANY WAY. IF A PERSON TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 17-B, SECTION 207 OF THE NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. IMPROVEMENTS WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE. REVIEWER OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No	DATE	ISSUE / REVISION



WATERFRONT ZONING ANALYSIS DIAGRAM

DATE: 03/24/23
 PROJECT: AD
 DRAWING: AD
 CHECK: JB
 DWG NO: L-002.00
 SHEET NO: 5 of 35



LEGEND

	ZONING LOT LINE		SHORE PUBLIC WALKWAY: 16,937 SF		PROPOSED STONE REVETMENT		PROPOSED 6'-0" LG. BACKLESS BENCH		PROPOSED TERRACED SEATING - DESIGN FEATURE SEATING
	MEAN HIGH WATER LINE (MHWL)* APPROX. EL. 3.24 PER NY LAND SURVEYOR (10/6/21)		SUPPLEMENTAL ACCESS AREA: 13,331 SF		PROPOSED PLANTING		PROPOSED 8'-0" LG. BACKED BENCH		PROPOSED BIKE RACKS
	150' OFFSET FROM MHWL (NYS DEC JURISDICTION)		UPLAND CONNECTION: (TYPE 1 + TRANSITION ZONE = 4950 SF)		PROPOSED MAJOR CANOPY TREE		PROPOSED STONE BLOCK SEATING		PROPOSED TRASH RECEPTACLE
	WPAA SUBJECT TO NYS DEC APPROVAL		PRIVATE OPEN SPACE: SHOWN FOR ILLUSTRATIVE PURPOSES ONLY		PROPOSED MAJOR COLUMNAR TREE		PROPOSED PICNIC TABLE: ADA ACCESSIBLE		PROPOSED 12'-0" HT. PEDESTRIAN LIGHT POLE, SINGLE LUMINAIRE
	TOP OF BANK/TOP OF REVETMENT		PUBLICLY ACCESSIBLE PRIVATE STREET		PROPOSED MINOR/ORNAMENTAL MULTI-STEM TREE		PROPOSED MOVABLE TABLE W/ CHAIRS: 4-SEATER		PROPOSED 12'-0" HT. PEDESTRIAN LIGHT POLE, DOUBLE LUMINAIRE
	LIMIT OF 40'-0" WD. SHORE PUBLIC WALKWAY (SPW) PARCEL 7		PROJECTED FUTURE 40'-0" WD. SHORE PUBLIC WALKWAY - PARCEL 5		PROPOSED EVERGREEN/ CONIFEROUS TREE		PROPOSED FIXED TABLE W/ CHAIRS: 3-SEATER ADA ACCESSIBLE		PROPOSED 3'-0" HT. BOLLARD PATH LIGHT
	LIMIT OF PROJECTED 40'-0" WD. SHORE PUBLIC WALKWAY PARCEL 5		LIMIT OF UPLAND CONNECTION (UC), TYPE 2		PROPOSED LOUNGER		PROPOSED FIXED TABLE W/ CHAIRS: 2-SEATER ADA ACCESSIBLE		NYC DOT STREET LIGHT POLE
	LIMIT OF SUPPLEMENTAL ACCESS AREA		LIMIT OF UPLAND CONNECTION (UC), TYPE 1		PROPOSED LOUNGER W/ MOUNDED SIDE TABLE		PROPOSED FIXED TABLE W/ CHAIRS: 2-SEATER ADA ACCESSIBLE		PROPOSED COMPANION SEATING AREA
	LIMIT OF UPLAND CONNECTION (UC), TRANSITION AREA		LIMIT OF UPLAND CONNECTION (UC), TYPE 2		PROPOSED PLATFORM SEATING - DESIGN FEATURE SEATING		PROPOSED MOVABLE TABLE W/ CHAIRS: 4-SEATER		PRIMARY ENTRY SIGNAGE
	LIMIT OF UPLAND CONNECTION (UC), TYPE 2 50'-0" LG. ENTRY AREA		LIMIT OF UPLAND CONNECTION (UC), TYPE 1		PROPOSED CONC. SEAT WALL - DESIGN FEATURE SEATING		PROPOSED FIXED TABLE W/ CHAIRS: 2-SEATER ADA ACCESSIBLE		ZONING LOT LINE SIGN
	LIMIT OF UPLAND CONNECTION (UC), TYPE 1		LIMIT OF UPLAND CONNECTION (UC), TRANSITION AREA		PROPOSED CONC. CURBS/WALLS		PROPOSED LOUNGER W/ MOUNDED SIDE TABLE		SEATING OPEN TO THE PUBLIC SIGN
	VISUAL CORRIDOR		VISUAL CORRIDOR		PROPOSED CONC. CURBS/WALLS		PROPOSED LOUNGER W/ MOUNDED SIDE TABLE		WPAA DIRECTIONAL SIGNAGE @ POS ENTRY
	CENTER LINE OF VISUAL CORRIDOR		CLEAR PATH OF TRAVEL		PROPOSED CONC. CURBS/WALLS		PROPOSED LOUNGER W/ MOUNDED SIDE TABLE		42" HT. GUARDRAIL ON CONC. CAP & CURB WALL
	LIMIT OF PRIVATE OPEN SPACE (POS): SHOWN FOR ILLUSTRATIVE PURPOSES ONLY		PROPOSED BUILDING FOOTPRINT		PROPOSED BUILDING FOOTPRINT		PROPOSED LOUNGER W/ MOUNDED SIDE TABLE		8" HT. FOOT RAIL
	POINT OF BUILDING ACCESS		ROOSEVELT AVE. BRIDGE OVERHEAD		ROOSEVELT AVE. BRIDGE OVERHEAD		PROPOSED LOUNGER W/ MOUNDED SIDE TABLE		26" HT. FENCE ON 6" HT. CURB @ SOUTHERN LOT LINE BOUNDARY

NOTES:

- EXISTING SITE INFORMATION SHOWN FOR PARCEL 5, ON THE NORTH SIDE OF NORTH ZONING LOT LINE, IS PROVIDED FROM THE CONTROL POINT SURVEY, PREPARED 07/29/2019, AND AS DESCRIBED ON C-002.00, SURVEY DIAGRAM.
- POTENTIAL FUTURE CONDITIONS SHOWN FOR PARCEL 5 ARE PER THE FINAL SFWD MASTER PLAN (PREPARED AUGUST 2019) AND PER THE PARCEL 5 ARCHITECTS AND LANDSCAPE ARCHITECTS PRELIMINARY PLANS (MARCH 2023) FOR SHORELINE CONDITION WHERE PARCEL 5 AND 7 CONNECT.
- CONTEXTUAL SITE CONDITIONS BEYOND THE SOUTHERN LIMITS OF THE SURVEY ARE PROVIDED BY NYCITYMAP (<http://maps.nyc.gov/dotit/nycitymap/>) AND PER GOOGLE EARTH PRO SATELLITE MAPS (2022).
- MHWL SHOWN ON THIS PLAN WAS INTERPOLATED BY LANGAN IN 2021, BASED ON THEIR BATHYMETRIC SURVEY. DUE TO EXISTING PLATFORMS EXTENDING BEYOND THE US PIER/HEAD/BULKHEAD LINE (MOST WESTERN ZONING LOT LINE), THE SURVEYOR WAS UNABLE TO PLOT THE MHWL.
- TOP OF BANK/TOP OF REVETMENT IS ALSO WESTERN PROPERTY LINE OF ZONING LOT AND US PIER/BULKHEAD LINE.

NOTE:
 1. GROUND FLOOR LAYOUT FOR LOT 65 BUILDINGS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.



DEVELOPER

THE UNITED GROUP
112-15 NORTHERN BLVD, #2
CORONA, NY 11368

TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

LANDSCAPE ARCHITECT

ABEL BAINSON BUTZ, LLP
80 EIGHTH AVE. SUITE 1105
NEW YORK, NY 10025

TEL 212 206 0630 WWW.ABBNYC.COM

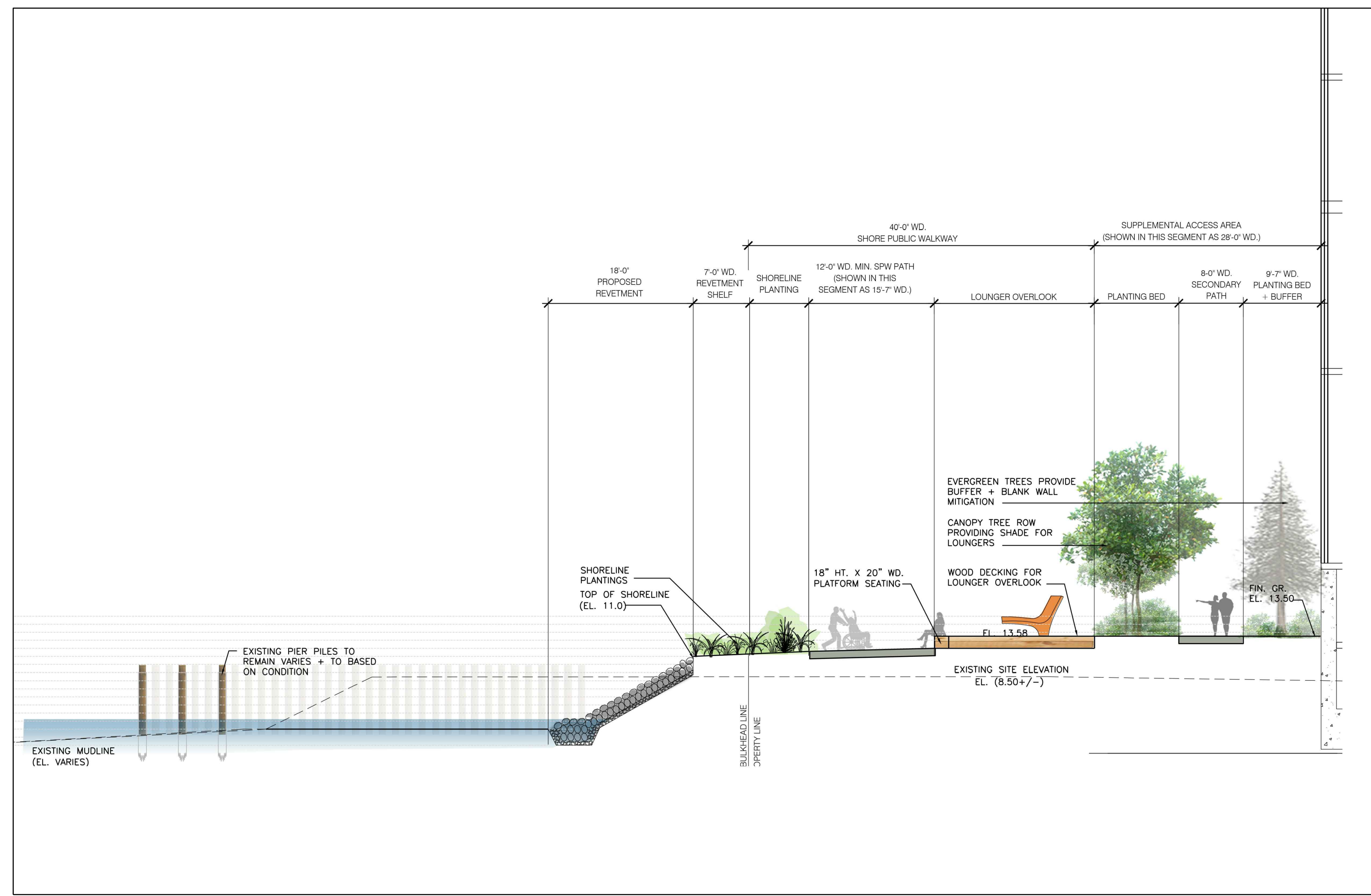
ARCHITECT

PETER F. POON ARCHITECT P.C.
12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

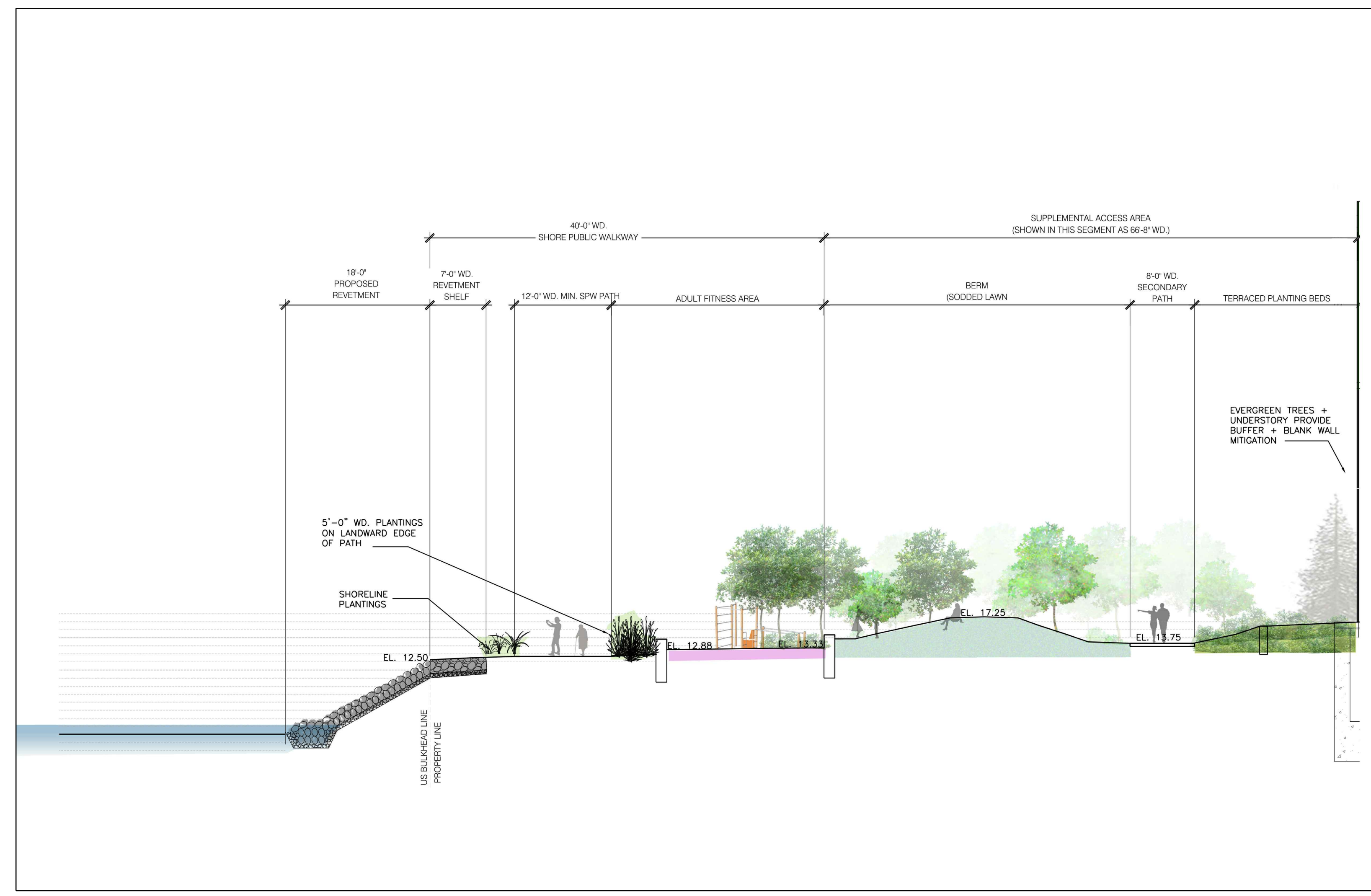
CIVIL ENGINEER

LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

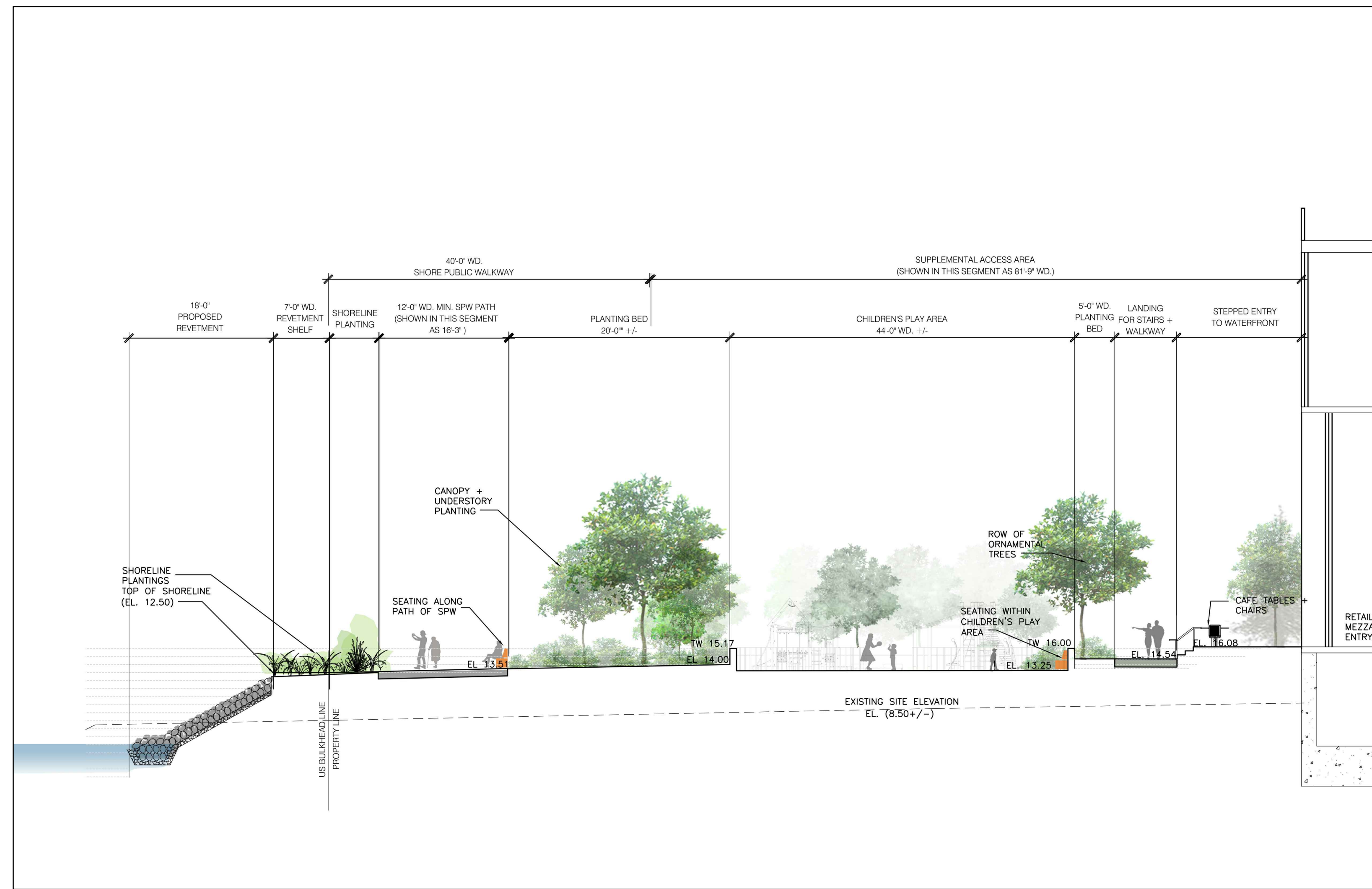
ABEL BAINSON BUTZ, LLP
LANDSCAPE ARCHITECTS SITE PLANNERS



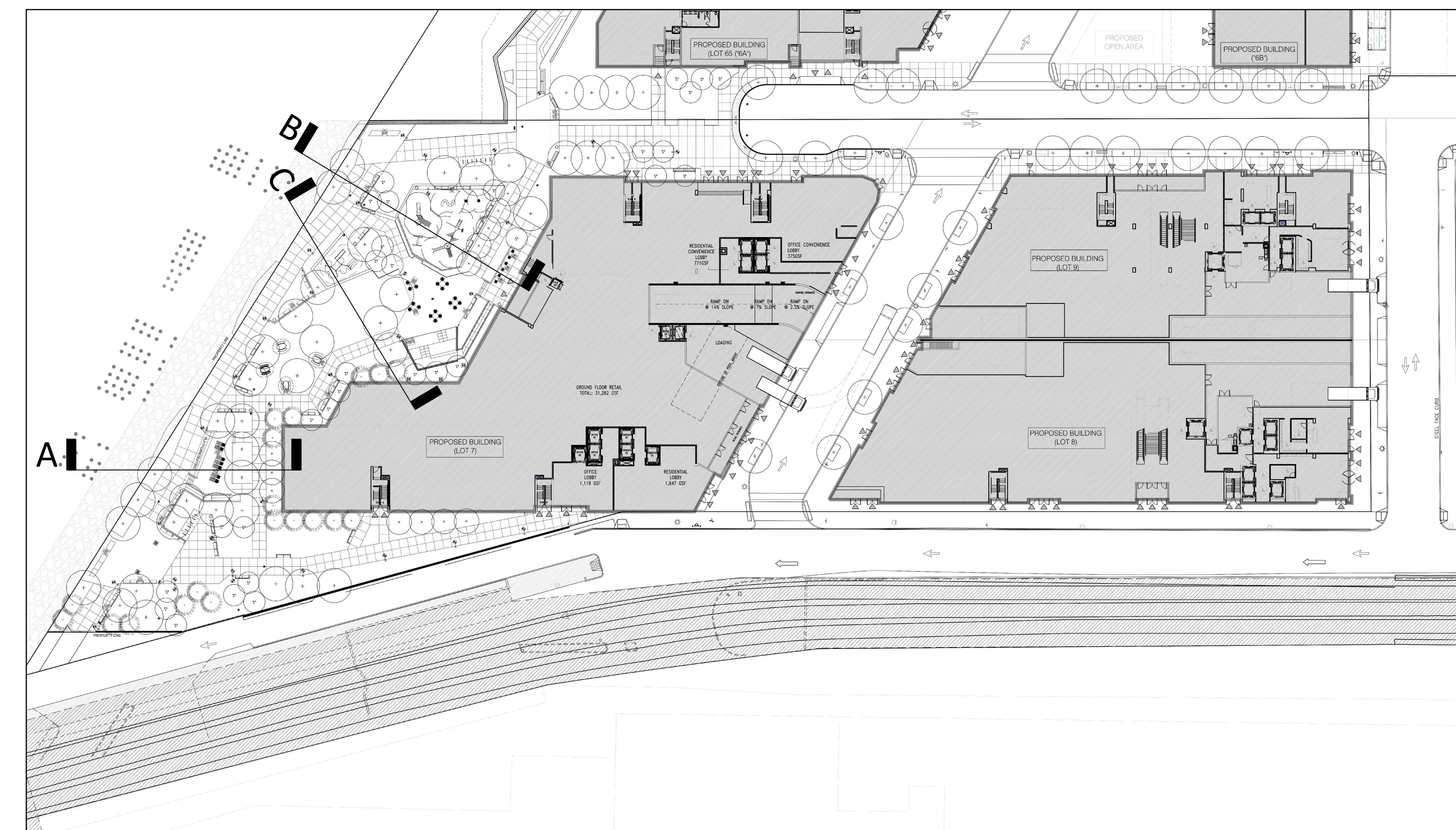
A Section/Elevation: Shore Public Walkway @ Lounger Overlook
Scale: 1" = 10'-0"



C Section/Elevation: Shore Public Walkway to Adult Fitness Area, Berned Lawn, + Terraced Planting
Scale: 1" = 10'-0"



B Section/Elevation: Shore Public Walkway to Children's Play Area + Mezzanine Terrace
Scale: 1" = 10'-0"



KEY PLAN

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

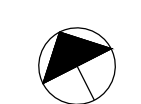
IF A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, SHALL BE ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF AN ALTERATION TO THESE DRAWINGS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 1615 SUBSECTION 10 OF THE NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE IN FAVOR OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

No	DATE	ISSUE / REVISION

PROJECT



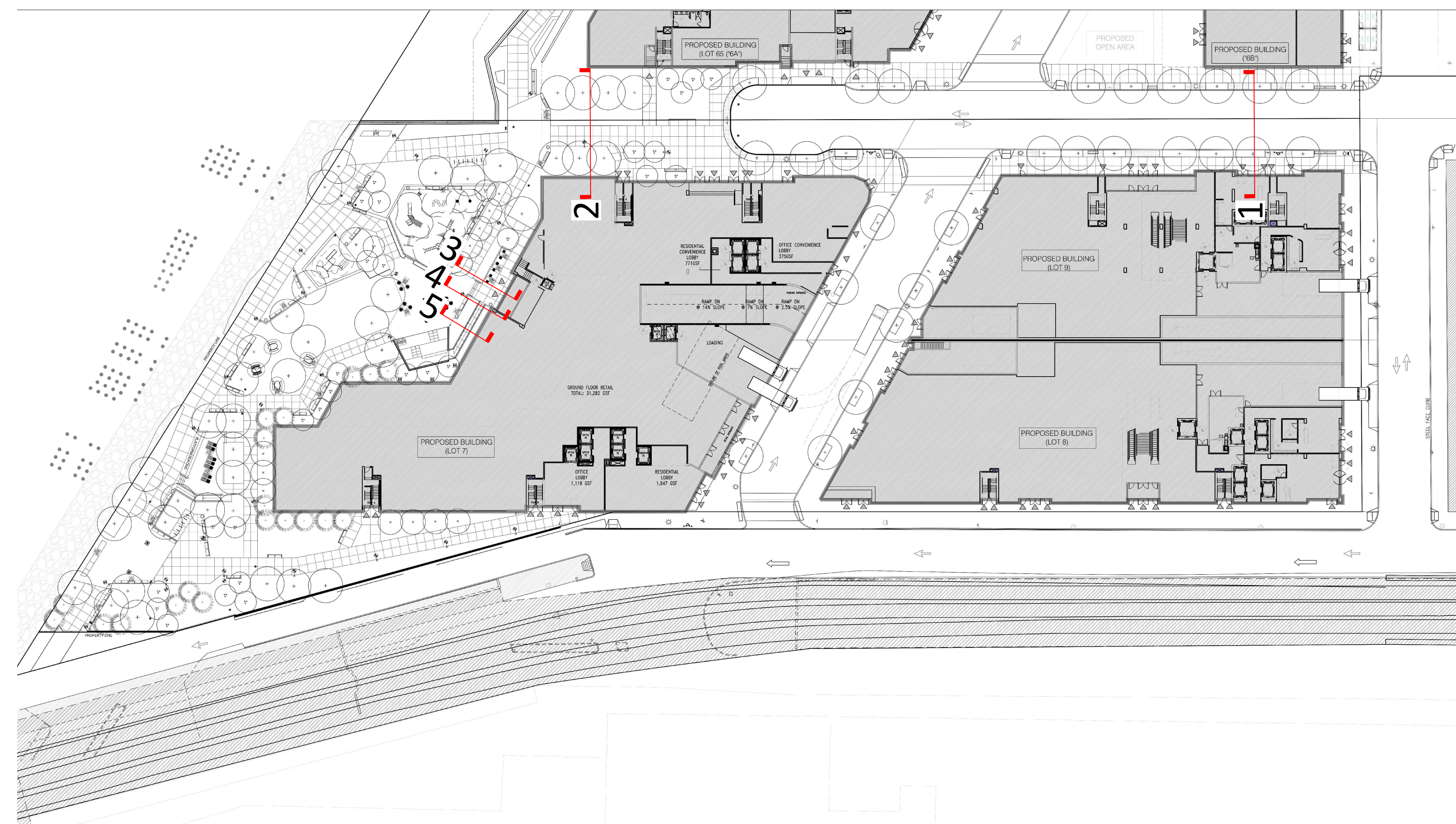
SITE
SECTIONS/ELEVATIONS
II

ORIENTATION  SCALE 1" = 20'-0"

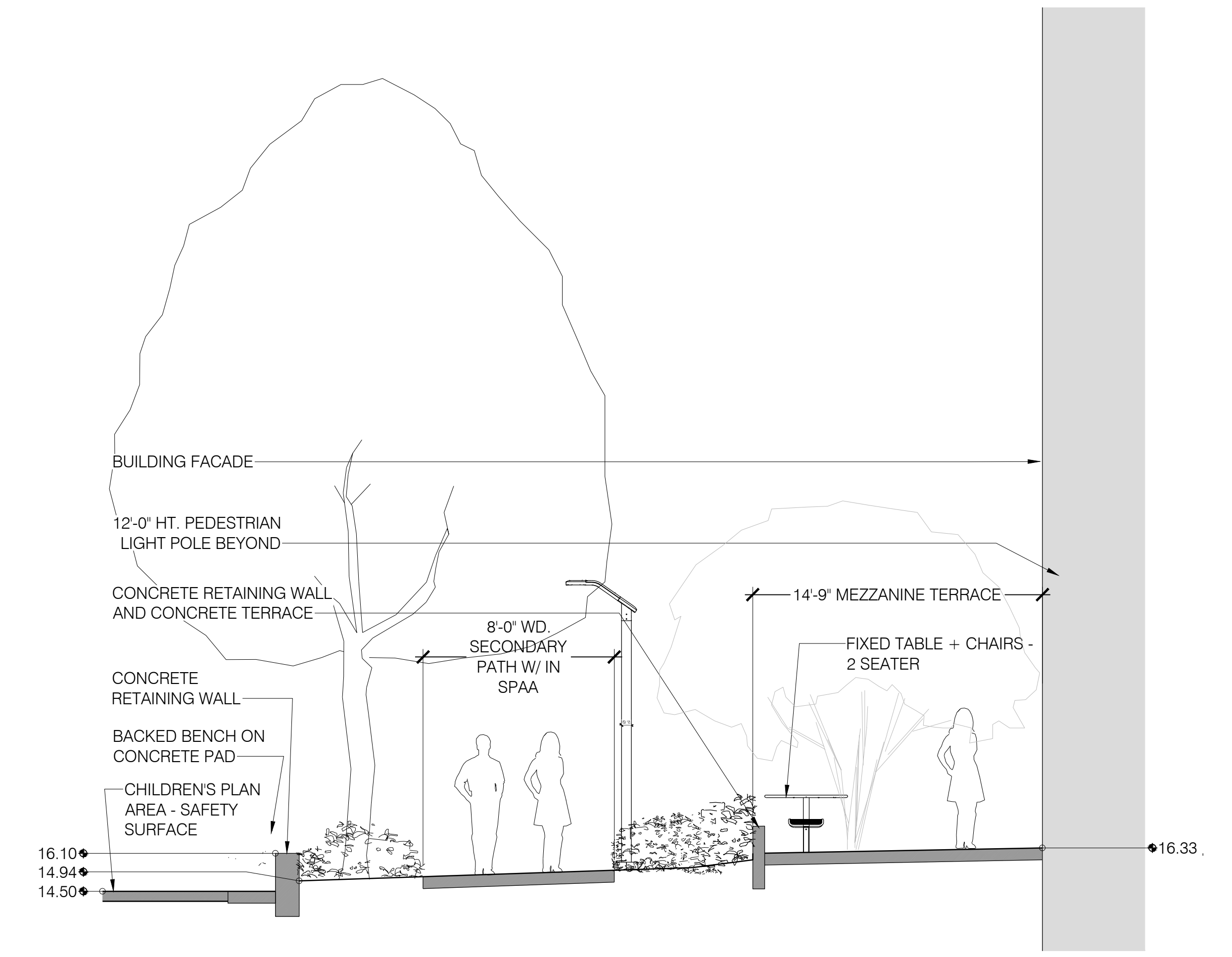
DATE: 03/24/23
PROJECT: AD
DRAWING BY: JB
CHK BY: JB
DWG NO:

L-701.00

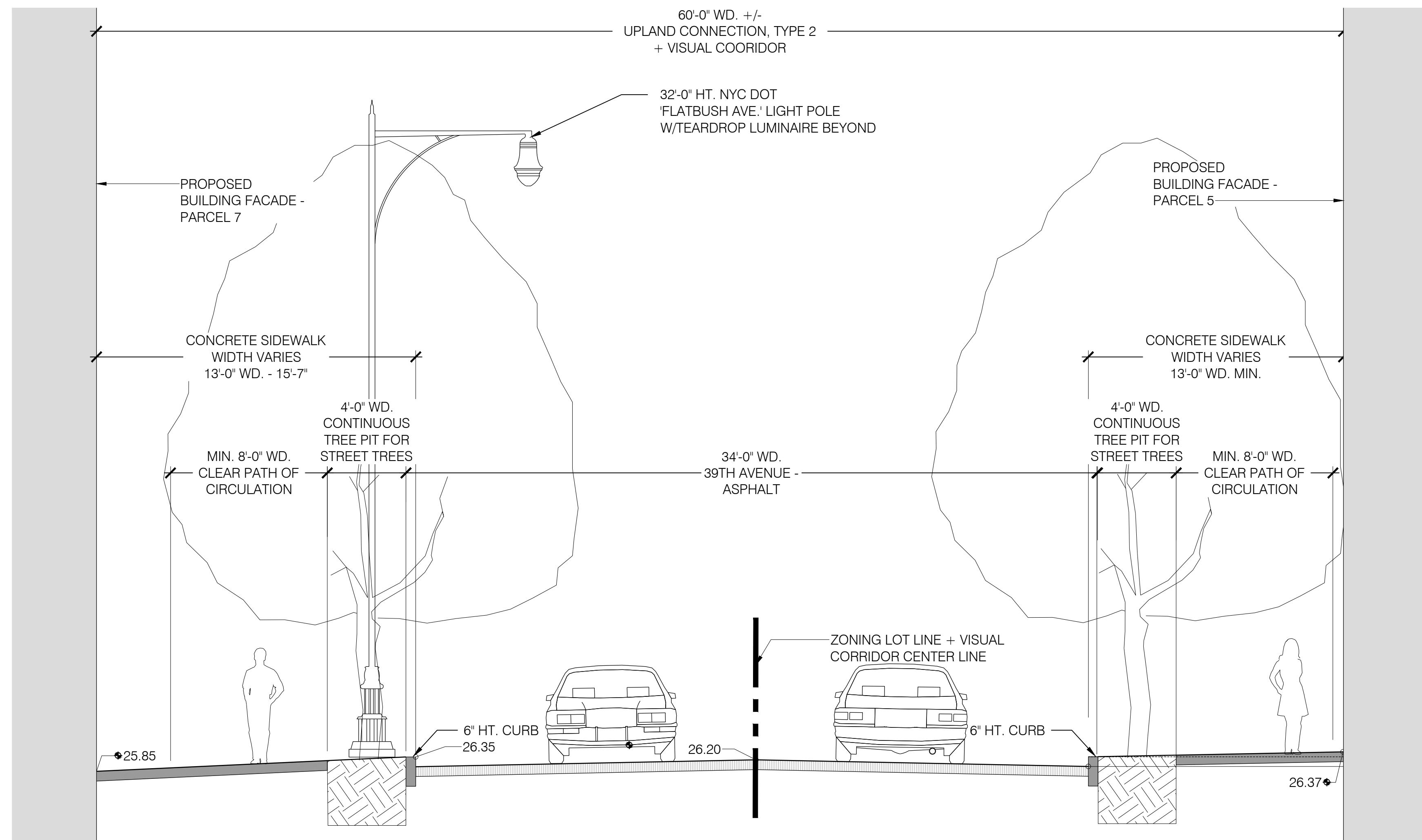
SHEET NO. 23 OF 35



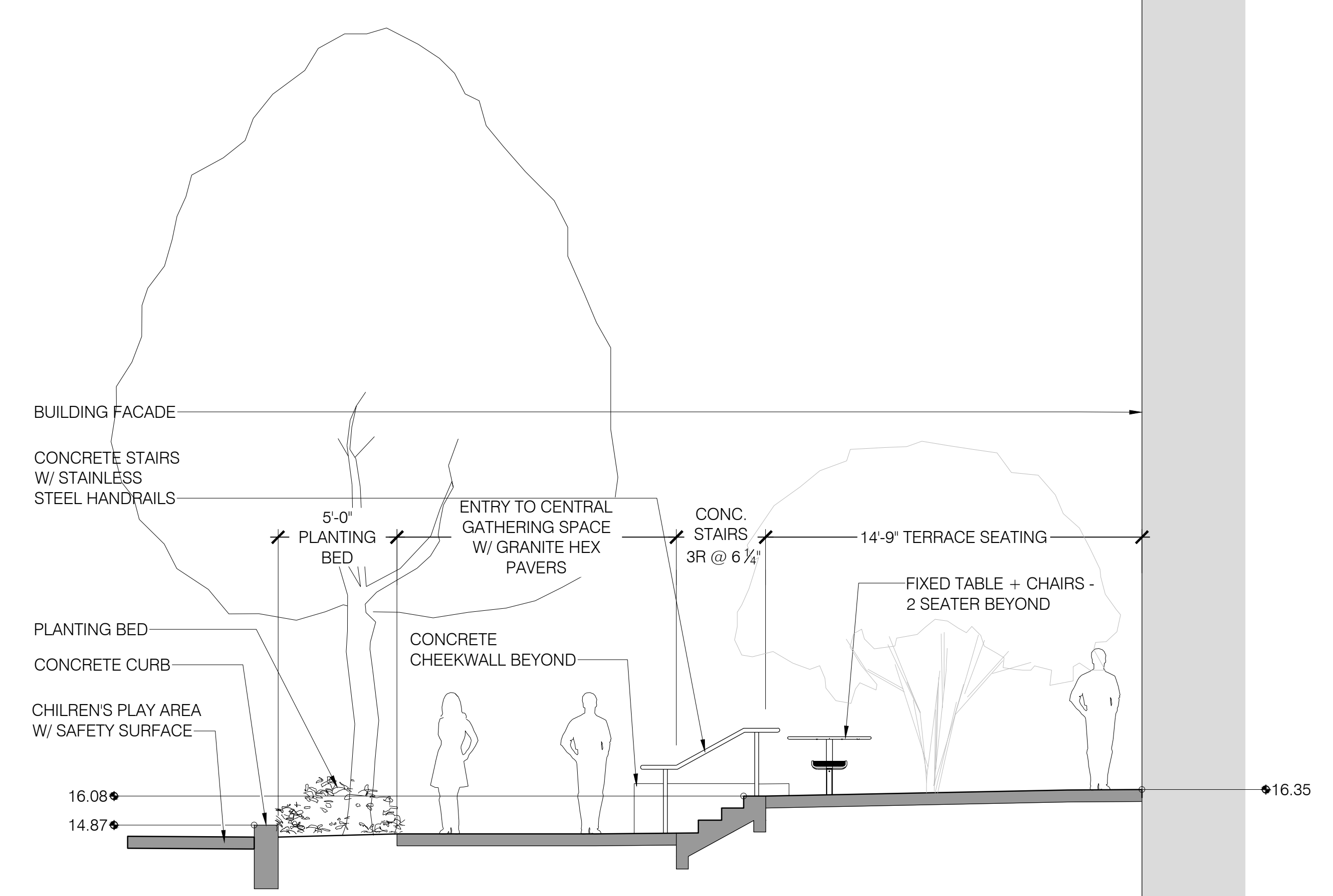
Section Key Plan
Scale: NTS



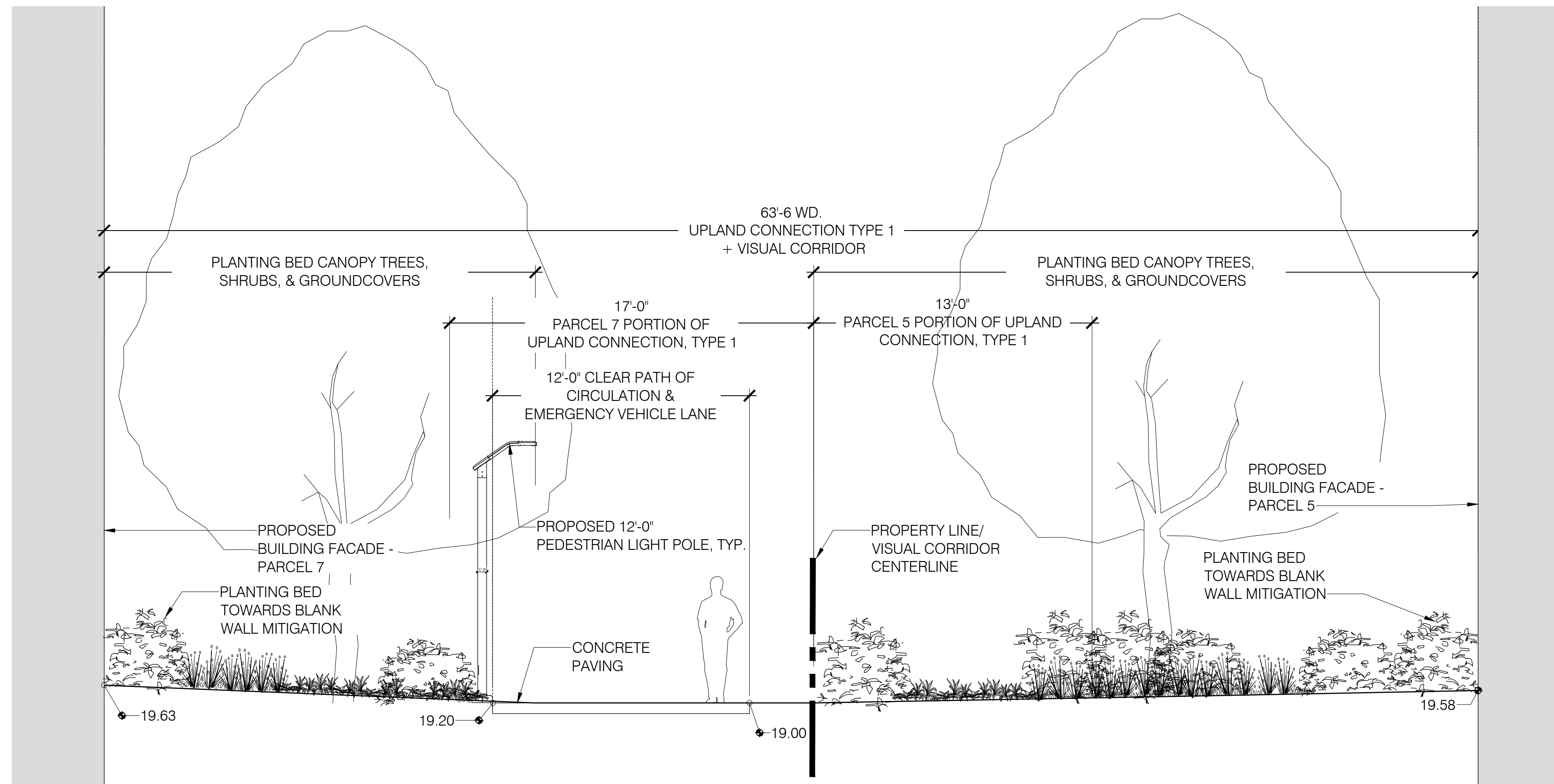
3 Section/Elevation: Mezzanine Terrace to Children's Play Area
Scale: 1/4" = 1'-0"



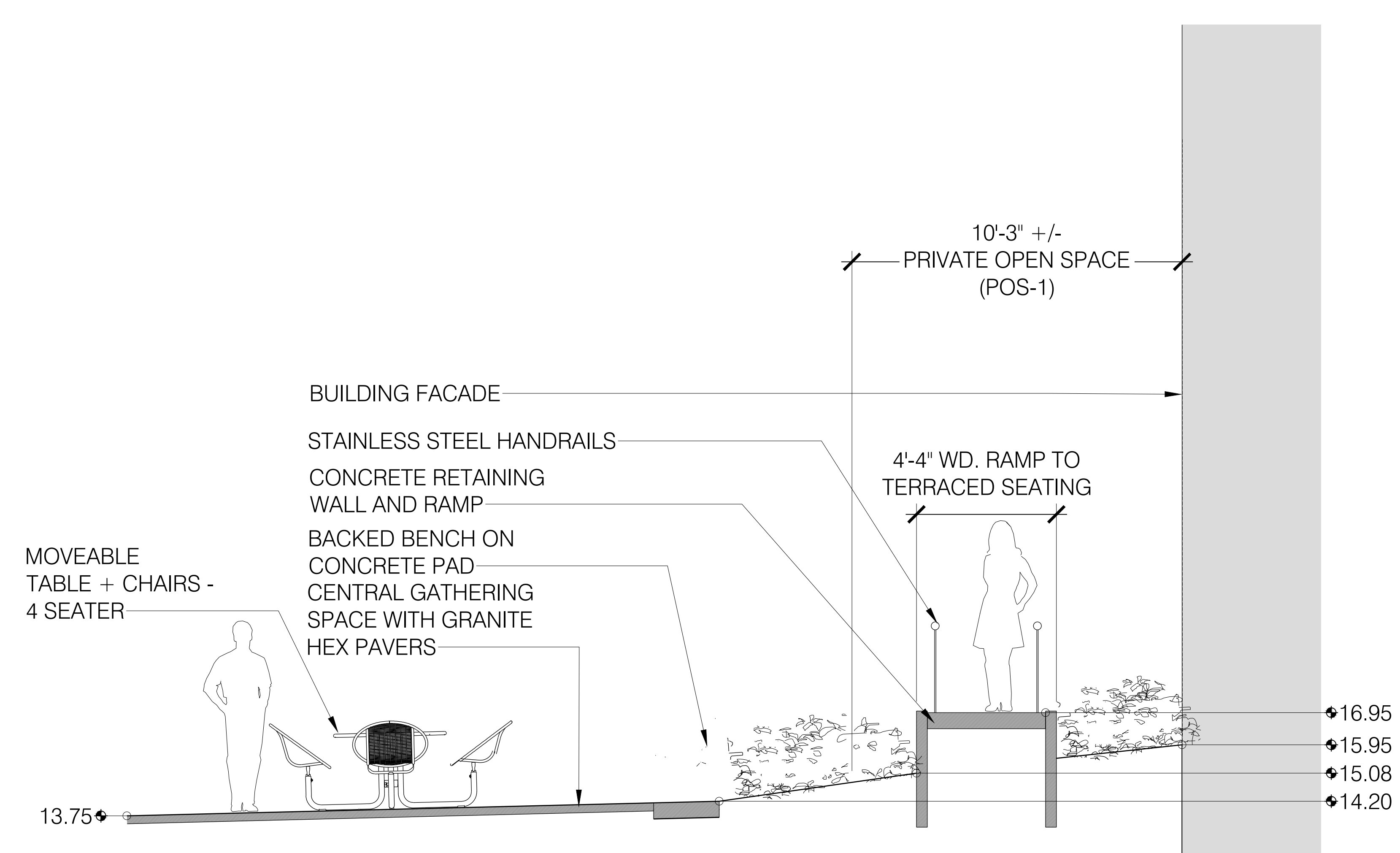
1 Section/Elevation: Upland Connection, East of Transverse Road
Scale: 1/4" = 1'-0"



4 Section/Elevation: Stairs @ Mezzanine Terrace
Scale: 1/4" = 1'-0"



2 Section/Elevation: Upland Connection, West of Transverse Road
Scale: 1/4" = 1'-0"



5 Section/Elevation: SPAA Central Terrace
Scale: 1/4" = 1'-0"

SPECIAL FLUSHING
WATERFRONT DISTRICT
PARCEL 7, SUBDISTRICT B
LOTS 7,8,9

39-08 JANET PLACE
FLUSHING, NY 11354

DEVELOPER
THE UNITED GROUP
112-15 NORTHERN BLVD, #2
CORONA, NY 11368
TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

LANDSCAPE ARCHITECT
ABEL BAINNISON BUTZ, LLP
80 EIGHTH AVE. SUITE 1105
NEW YORK, NY 10025
TEL 212 206 0630 WWW.ABBNYC.COM

ARCHITECT
PETER F. POON ARCHITECT P.C.
12 MERCER ST. NEW YORK, NY 10013
TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES
21 PENN PLAZA 360 W.31ST ST.
NEW YORK, NY 10001
TEL 212 479 5400 WWW.LANGAN.COM

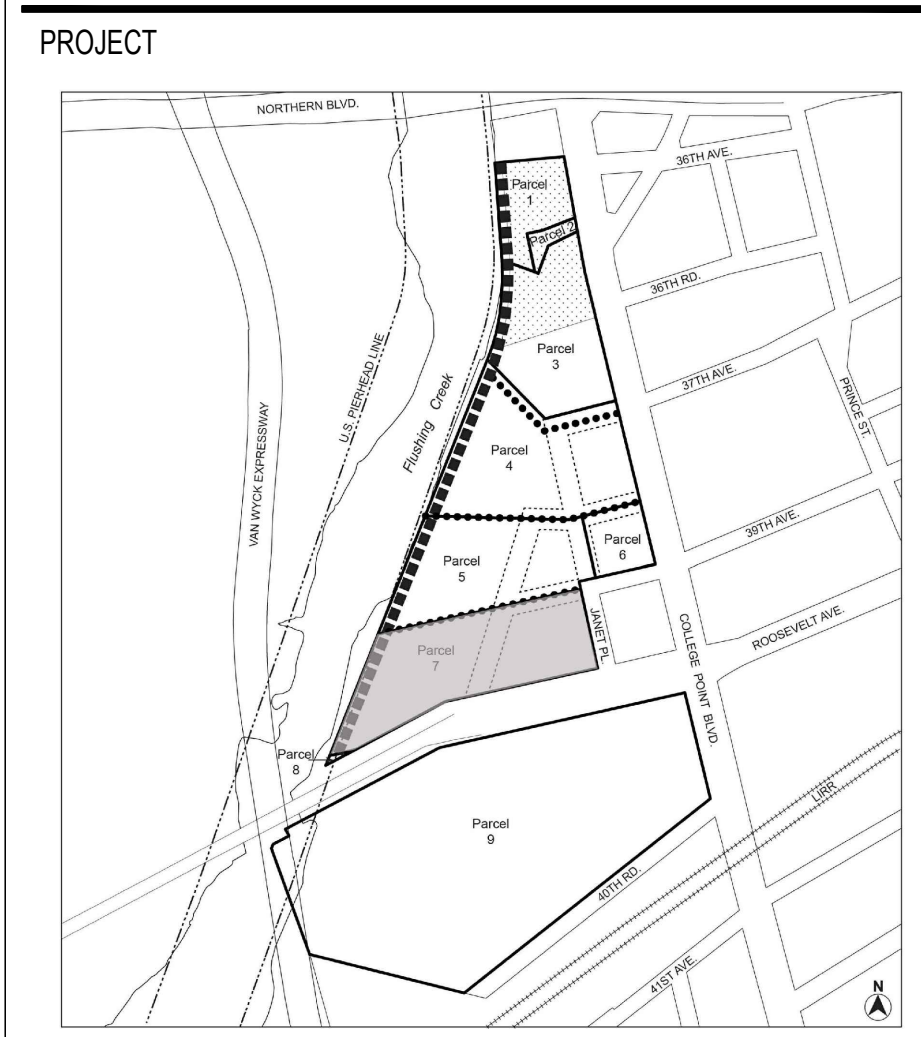
Abel Bainnison Butz, LLP
LANDSCAPE ARCHITECTS SITE PLANNERS

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

IF A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, SHALL BE ANY ITEM ON THESE DRAWINGS IN ANY WAY. IF A VIOLATION OF THESE DRAWINGS IS MADE, THE ALTERNATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 17-B SUBSECTION 10-B OF NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE BEYOND OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

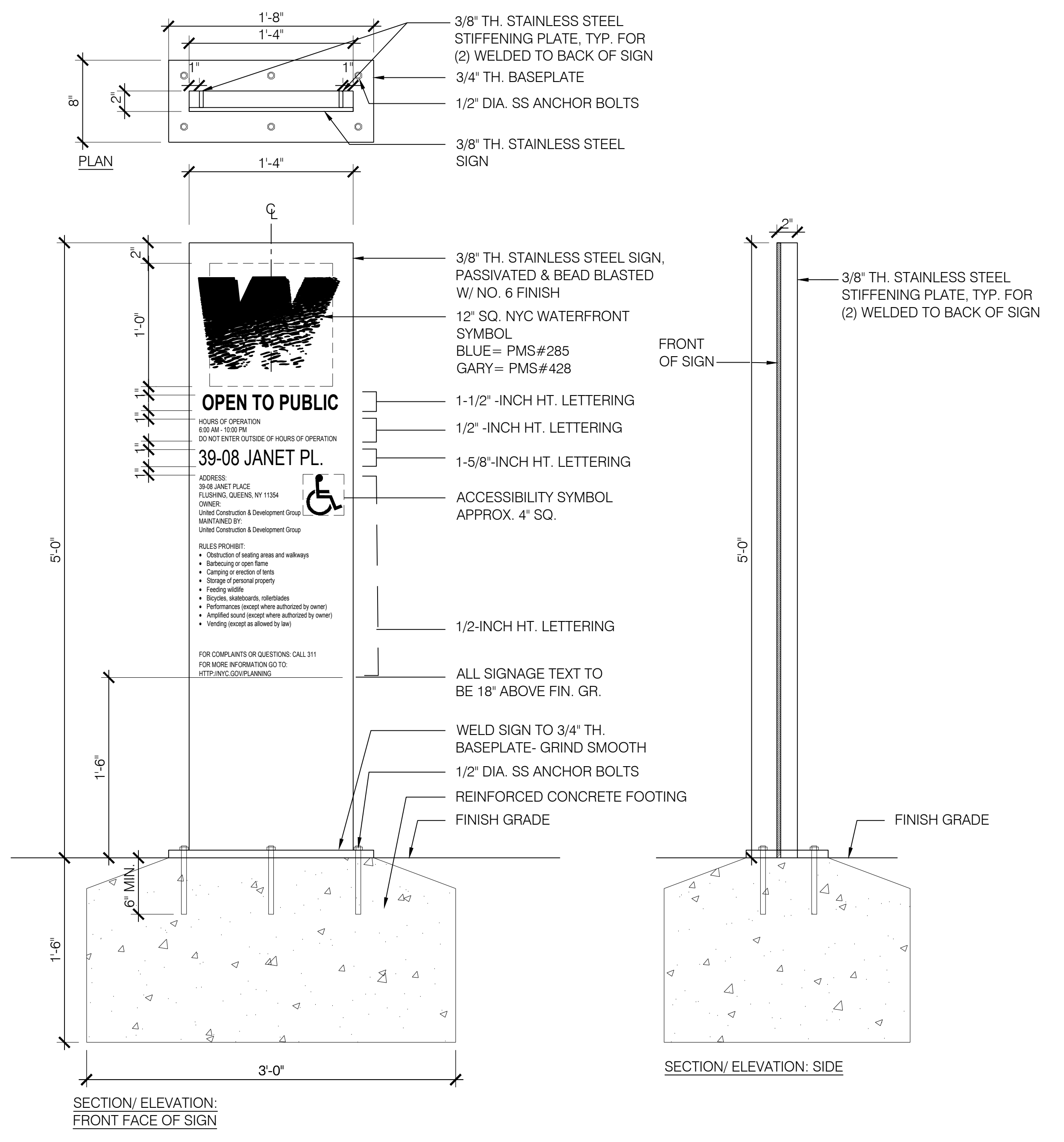
No	DATE	ISSUE / REVISION



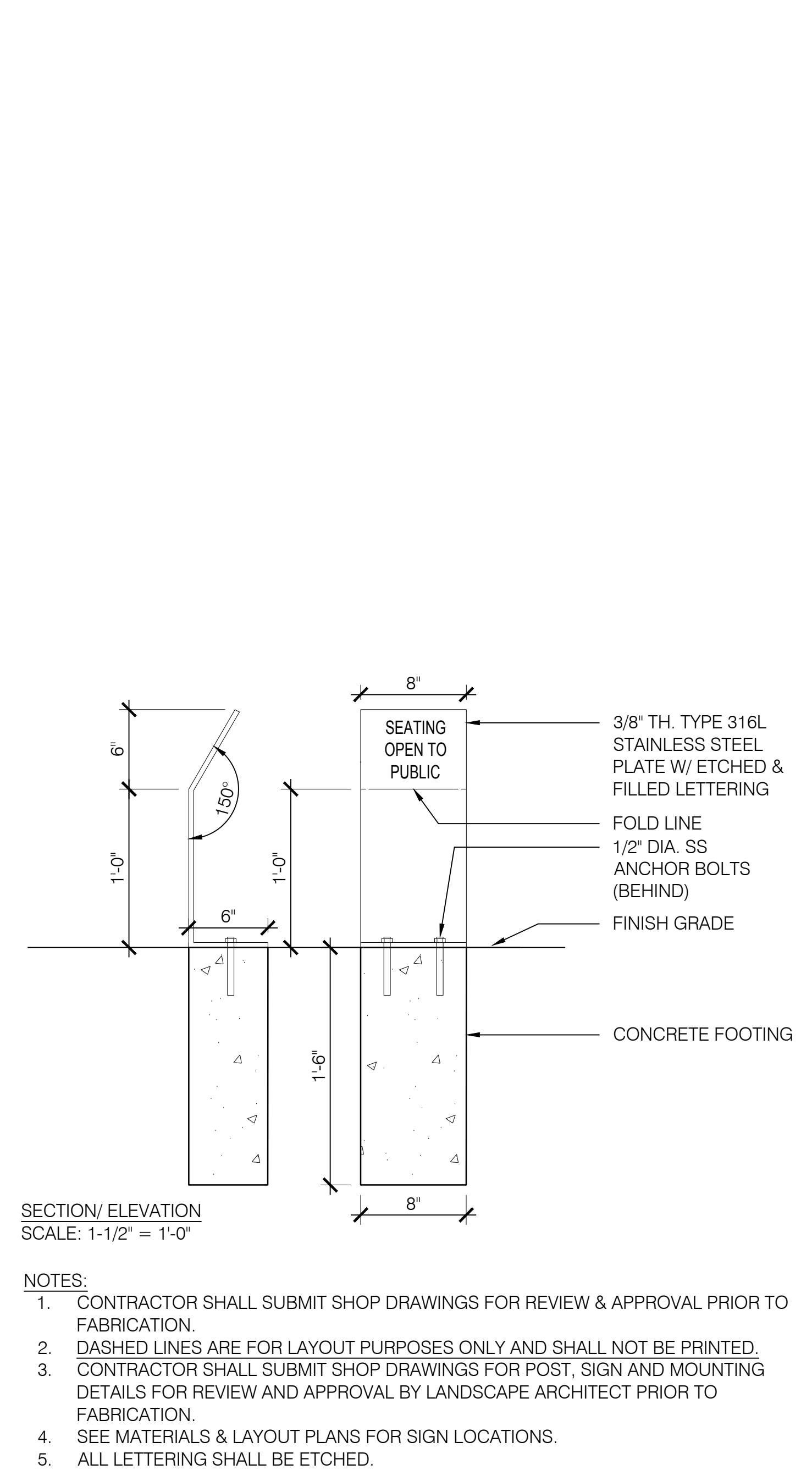
SITE SECTIONS/ELEVATIONS IV

OPERATION	SCALE
DATE	1/4" = 1'-0"
PROJECT No.	03/24/23
DRAWING BY	AD
CHECK BY	JB
DWG No.	
SHEET No.	25 of 35

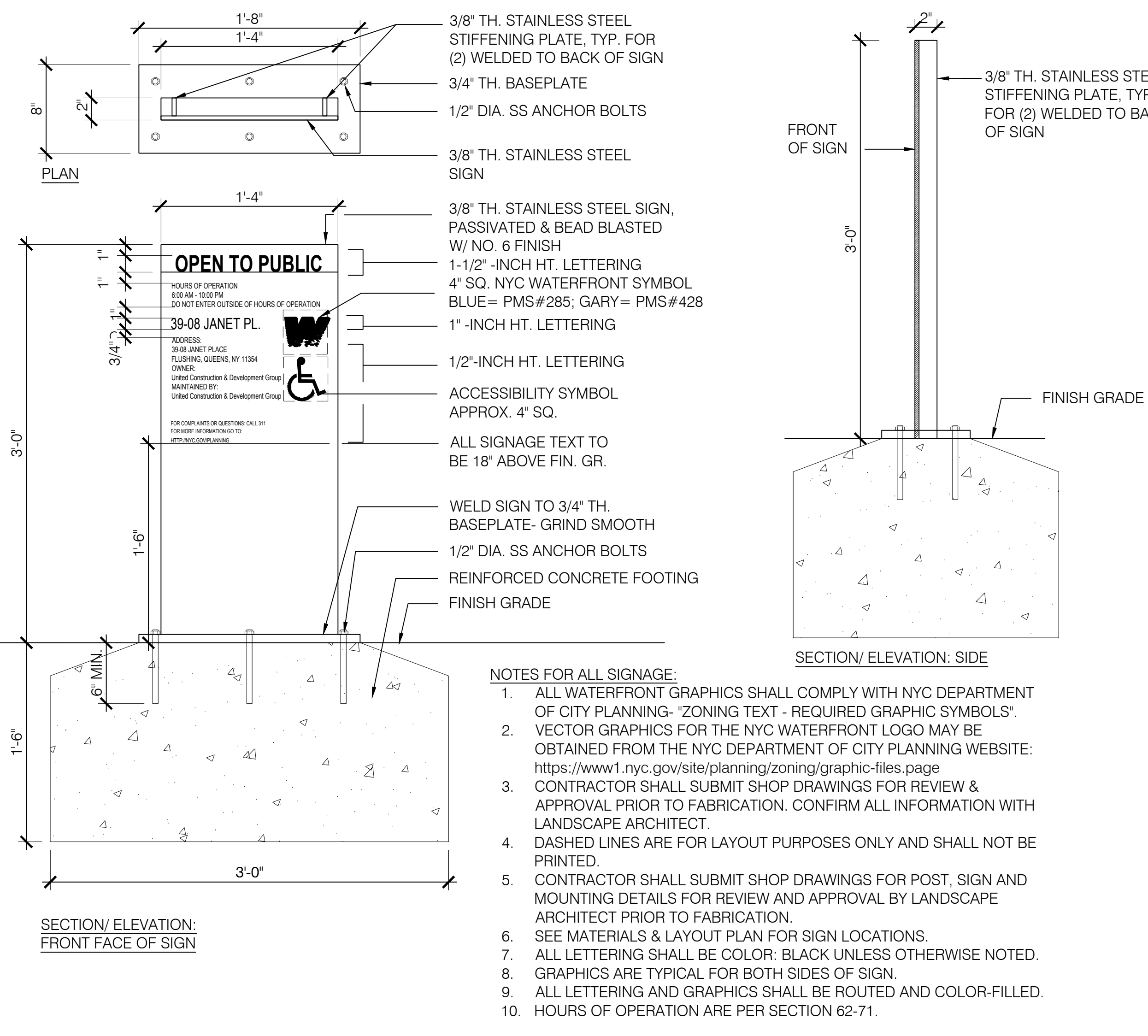
L-703.00



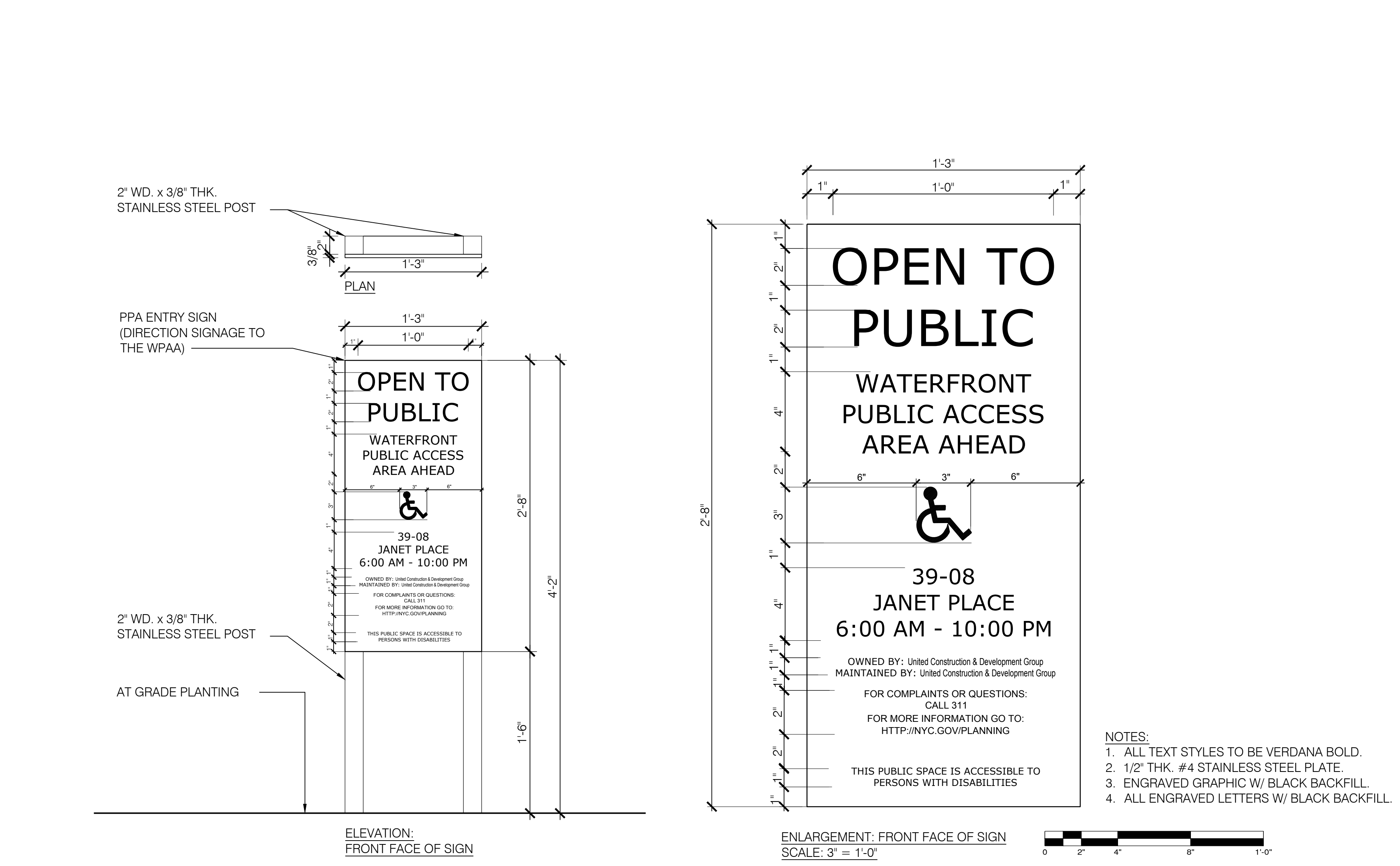
1 Entry Signage
Scale: 1 1/2" = 1'-0"



3 Seating 'Open to the Public' Signage
Scale: 1 1/2" = 1'-0"



2 Zoning Lot Line Signage
Scale: 1 1/2" = 1'-0"



4 POS-2 Entry Sign (Directional Signage to WPAA @ Roosevelt Ave.)
Scale: 1 1/2" = 1'-0"

DEVELOPER
 THE UNITED GROUP
 112-15 NORTHERN BLVD, #2
 CORONA, NY 11368
 TEL 718 397 8800 WWW.UNITEDGROUPNY.COM

LANDSCAPE ARCHITECT
 ABEL BAINNSON BUTZ, LLP
 80 EIGHTH AVE. SUITE 1105
 NEW YORK, NY 10025
 TEL 212 206 0630 WWW.ABBNYC.COM

ARCHITECT
 PETER F. POON ARCHITECT P.C.
 12 MERCER ST. NEW YORK, NY 10013
 TEL 212 941-6800 WWW.PPAARCHITECTS.COM

CIVIL ENGINEER
 LANGAN ENGINEERING &
 ENVIRONMENTAL SERVICES
 21 PENN PLAZA 360 W.31ST ST.
 NEW YORK, NY 10001
 TEL 212 479 5400 WWW.LANGAN.COM

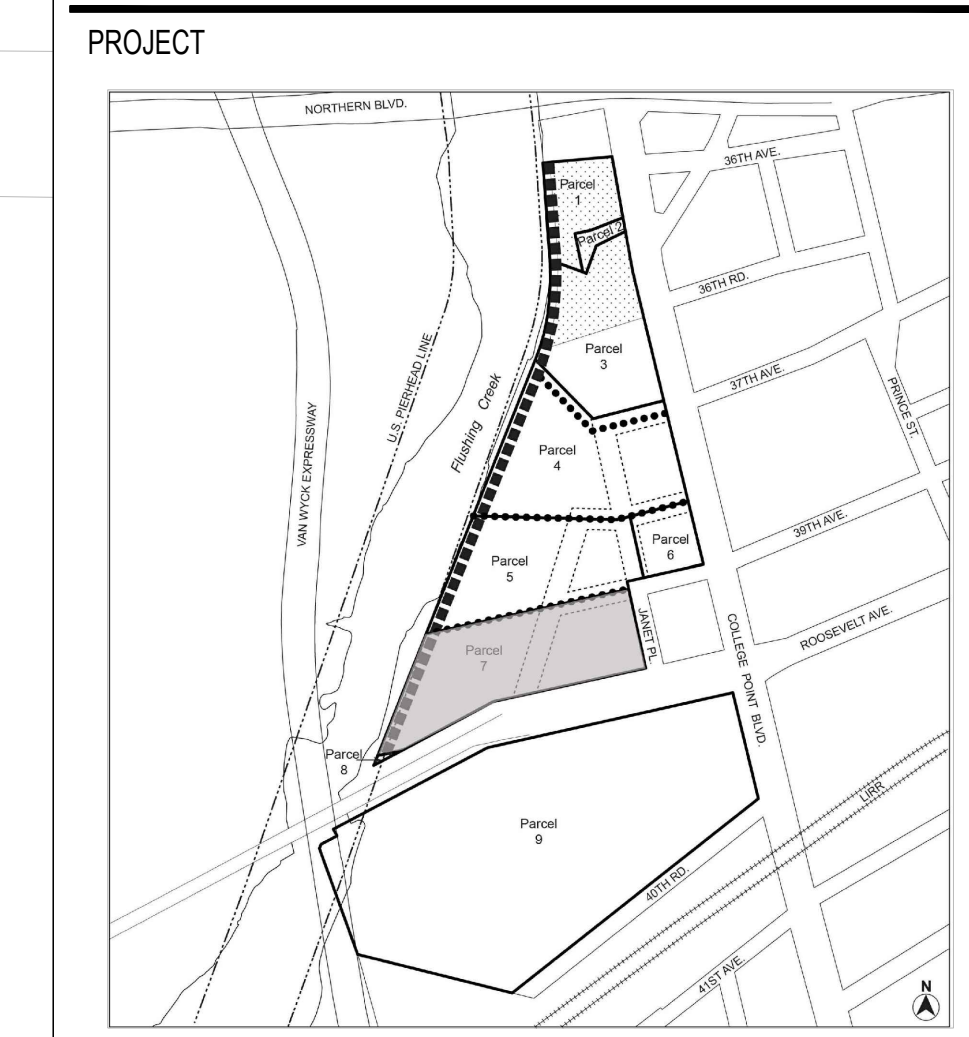
Abel Bainsnon Butz, LLP
 LANDSCAPE ARCHITECTS SITE PLANNERS

NOT FOR CONSTRUCTION

GENERAL CONTRACTOR

IF IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER, TO SEAL ANY DRAWING OR THESE DRAWINGS IN ANY WAY. IF A VIOLATION TO THESE DRAWINGS IS MADE, THE ARCHITECTS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 17-B, SECTION 209 OF THE NEW YORK STATE EDUCATION LAW. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. IMPROVEMENT WILL BE PROSECUTED. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND BE RESPONSIBLE FOR FIELD AND QUANTITY TO WORK. NO ALLOWANCES SHALL BE MADE. REVIEWER OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

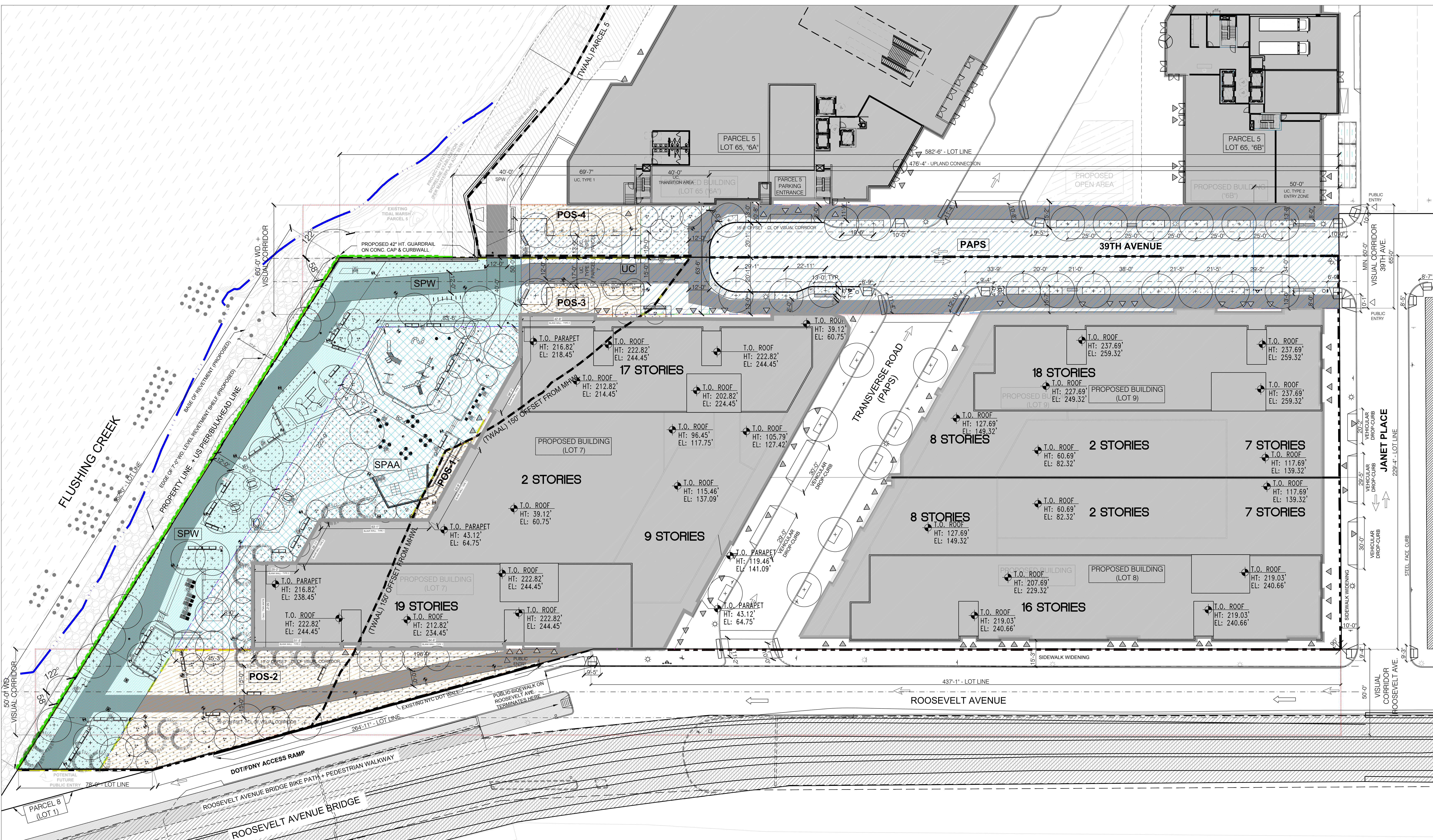
No	DATE	ISSUE / REVISION



WATERFRONT ZONING LOT PHASING: PHASE 2 PLAN

REVISION	DATE	SCALE
	03/24/23	1" = 20'-0"

DATE: 03/24/23
 DRAWING: AD
 CHECK: JB
 SHEET NO: 35 OF 35



LEGEND

	ZONING LOT LINE		PROPOSED STONE REVETMENT		PROPOSED 6'-0" LG. BACKLESS BENCH		PROPOSED TERRACE SEATING - DESIGN FEATURE SEATING
	MEAN HIGH WATER LINE (MHWL)* APPROX. EL. 3.24 PER NY LAND SURVEYOR (10/6/21)		PROPOSED PLANTING		PROPOSED 8'-0" LG. BACKED BENCH		PROPOSED BIKE RACKS
	150' OFFSET FROM MHWL (NYS DEC JURISDICTION)		PROPOSED MAJOR CANOPY TREE		PROPOSED STONE BLOCK SEATING		PROPOSED TRASH RECEPTACLE
	WPAA SUBJECT TO NYS DEC APPROVAL		PROPOSED MAJOR COLUMNAR TREE		PROPOSED PICNIC TABLE: ADA ACCESSIBLE		PROPOSED 12'-0" HT. PEDESTRIAN LIGHT POLE, SINGLE LUMINAIRE
	TOP OF BANK/TOP OF REVETMENT		PROPOSED MINOR/ORNAMENTAL MULTI-STEM TREE		PROPOSED MOVEABLE TABLE W/ CHAIRS: 4-SEATER		PROPOSED 12'-0" HT. PEDESTRIAN LIGHT POLE, DOUBLE LUMINAIRE
	LIMIT OF 40'-0" WD. SHORE PUBLIC WALKWAY (SPW) PARCEL 7		PROPOSED EVERGREEN/ CONIFEROUS TREE		PROPOSED FIXED TABLE W/ CHAIRS: 3-SEATER ADA ACCESSIBLE		PROPOSED 3'-0" HT. BOLLARD PATH LIGHT
	LIMIT OF PROJECTED 40'-0" WD. SHORE PUBLIC WALKWAY PARCEL 5		PROPOSED LOUNGER		PROPOSED FIXED TABLE W/ CHAIRS: 2-SEATER ADA ACCESSIBLE		NYC DOT STREET LIGHT POLE
	LIMIT OF SUPPLEMENTAL ACCESS AREA		PROPOSED LOUNGER W/ MOUNDED SIDE TABLE		PROPOSED PLATFORM SEATING - DESIGN FEATURE SEATING		PROPOSED COMPANION SEATING AREA
	LIMIT OF UPLAND CONNECTION (UC), TYPE 2		PROPOSED CONC. SEAT WALL - DESIGN FEATURE SEATING		PROPOSED CONC. CURBS/WALLS		PRIMARY ENTRY SIGNAGE
	LIMIT OF UPLAND CONNECTION (UC), TYPE 1		CLEAR PATH OF TRAVEL		STEEL EDGING		ZONING LOT LINE SIGN
	LIMIT OF UPLAND CONNECTION (UC), TRANSITION AREA		PROPOSED BUILDING FOOTPRINT		RAISED CONC. CURBS/WALLS		SEATING OPEN TO THE PUBLIC SIGN
	VISUAL CORRIDOR		ROOSEVELT AVE. BRIDGE OVERHEAD		LOW BARRIER RAIL		WPAA DIRECTIONAL SIGNAGE @ POS ENTRY
	CENTER LINE OF VISUAL CORRIDOR				8" HT. FOOT RAIL		42' HT. GUARDRAIL ON CONC. CAP & CURB WALL
	LIMIT OF PRIVATE OPEN SPACE (POS): SHOWN FOR ILLUSTRATIVE PURPOSES ONLY				26" HT. FENCE ON 6" HT. CURB @ SOUTHERN LOT LINE BOUNDARY		48" HT. DOUBLE BI-FOLD GATE @ SOUTHERN LOT LINE BOUNDARY
	POINT OF BUILDING ACCESS				48" HT. DOUBLE BI-FOLD GATE @ SOUTHERN LOT LINE BOUNDARY		FLUSH CONC. CURB

NOTES:

- EXISTING SITE INFORMATION SHOWN FOR PARCEL 5, ON THE NORTH SIDE OF NORTH ZONING LOT LINE, IS PROVIDED FROM THE CONTROL POINT SURVEY, PREPARED 07/29/2019, AND AS DESCRIBED ON C-002.00 - SURVEY DIAGRAM.
- POTENTIAL FUTURE CONDITIONS SHOWN FOR PARCEL 5 ARE PER THE FINAL SFWD MASTER PLAN (PREPARED AUGUST 2019) AND PER THE PARCEL 5 ARCHITECTS AND LANDSCAPE ARCHITECTS PRELIMINARY PLANS (MARCH 2023) FOR SHORELINE CONDITION WHERE PARCEL 5 AND 7 CONNECT.
- CONTEXTUAL SITE CONDITIONS BEYOND THE SOUTHERN LIMITS OF THE SURVEY ARE PROVIDED BY NYCITYMAP (<http://maps.nyc.gov/dotit/nycitymap/>) AND PER GOOGLE EARTH PRO SATELLITE MAPS (2022).
- MHWL SHOWN ON THIS PLAN WAS INTERPOLATED BY LANGAN IN 2021, BASED ON THEIR BATHYMETRIC SURVEY. DUE TO EXISTING PLATFORMS EXTENDING BEYOND THE US PIER/HEAD/BULKHEAD LINE (MOST WESTERN ZONING LOT LINE), THE SURVEYOR WAS UNABLE TO PLOT THE MHWL.
- TOP OF BANK/TOP OF REVETMENT IS ALSO WESTERN PROPERTY LINE OF ZONING LOT AND US PIER/BULKHEAD LINE.

NOTE:
 1. GROUND FLOOR LAYOUT FOR LOT 65 BUILDINGS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

